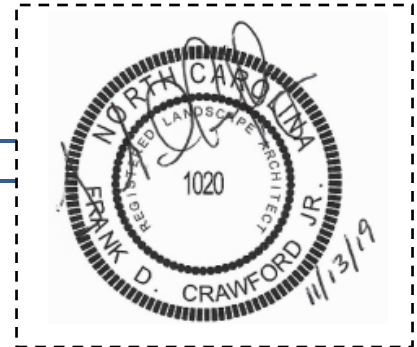


Client: City of Dunn  
Project: **Clarence Lee Tart Memorial Park Addition & Improvements**  
Dunn, NC  
Project No.: 18022

Designer  
Crawford Design Company  
116 N. Cool Spring Street  
Fayetteville, NC 28301  
Ph.: 910.221.0033  
Fx.: 910.221.0035



All provisions of the contract documents including the technical specifications, general conditions and contracts apply to the work unless modified by the addendum.

## GENERAL

1. Replace "Building – Multi Prime Bid Form" with the attached updated form.
2. Will a bid bond be required for both site and building?  
**Response:** Yes, a bid bond is required for each bid.
3. Is there a scope of work document that clearly defines the Site and Building scopes?  
**Response:** The work is indicated in each design plan.
4. What is the anticipated start date for this project?  
**Response:** Depending on the bids received and approval by City Council the approximate start date would be February, 2020.
5. Will the facility be in used during construction?  
**Response:** No. Any areas related to construction activities will not be used.

## SITE WORK (CIVIL/LANDSCAPE)

1. Is there a specific sprigging rate for the T10 Bermuda for the ballfields outfields? I was unable to locate a spec. Please advise rate desired.  
**Response:** Minimum 600 bushels per acre.
2. Are "all" exercise equipment and stations by Owner per Note 18 on several site drawings?  
**Response:** Yes. As defined in the plans, all exercise equipment shall be furnished and installed by the Owner.
3. Site Layout Plans – Site Note #18: The owner is to provide the equipment (disc golf tee, disc golf hole, exercise station, & batting cage), will the Site contractor be required to install these items?  
**Response:** No. The Owner shall furnish and install the disc golf components.

4. Site Layout Plans – Site Note #18: What is the responsibility for the Site contractor for the Sidewalk Along Roadway & Walking Trail? Rough grade, fine grade, install? What is the owner providing for these items?  
**Response:** As indicated in the plans, the sidewalk is an owner provided item.
5. Site Layout Plans – Site Notes #4 & 5: Does the owner have a preferred vendor for this item?  
**Response:** No
6. Site Layout Plans – Site Note #11: Will this sunshade be supplied by the owner? Will the site contractor be responsible for installation? If so, is there a detail showing this item?  
**Response:** The site contractor shall furnish and provide the sun shades. See technical specifications for a description of this item.
7. Site Layout Plans – Site Note #15: Will these flag poles be supplied by the owner? Will the site contractor be responsible for installation? If so, is there a detail showing this item?  
**Response:** The site contractor shall provide and install the flag poles. They are to be commercial grade stainless steel, installed per the manufacture’s recommendations.
8. Sheet C5.2: Will this dugout be the responsibility of the Site contractor or of the Building contractor? None of these items are addressed in the specifications for the Site contractor.  
**Response:** Yes. The site contractor shall be responsible to install the dugouts. Details are provided in the plans.
9. Section 01400: Will the Site contractor be responsible for geotechnical & concrete testing?  
**Response:** Yes. The contractor shall be responsible for testing of the site related items. This will consist of testing the concrete flatwork. No geotechnical testing is anticipated.
10. Section 02300 1.5.C.1: This section says that the owner will employ the services of a qualified independent geotechnical engineer to classify on-site and borrow soils and to perform required field & lab testing. Then it says that the contractor is to include the cost of the testing. Is the geotechnical testing going to be covered by the Owner or the Contractor?  
**Response:** See response under 9 above. Geotechnical testing is not anticipated.
11. Section 02300 3.3.B calls for the project to be unclassified. Is a geotechnical report available to determine if existing soils are Satisfactory or Unsatisfactory (per 02300 2.1B & C)?  
**Response:** No report is available. Section 02300 2.1 B & C as referenced in the question has to do with erosion control.
12. Section 02300 3.2: what is the average water table?  
**Response:** Has not been determined.
13. Section What depth of topsoil should we include for stripping and respread?  
**Response:** The plans and technical specifications require a minimum of 4-inches of topsoil in areas where groundcover is to be established. If quantities are not adequate on-site, the contractor is required to import topsoil per the specifications.
14. Section 01500: Section 1.3C states that no field office is required for this project. If that is the case, what products & items do we need to provide under this specification?  
**Response:** This item is determined by the contractor based on the needs of the project to provide the improvements requested.

15. Section 2700 3.1.B.1.c&d: What are the requirements for the infiltration & exfiltration testing? Typically, reinforced concrete pipe will not pass these tests. DIP, PVC, and HDPE pipe will. All the storm pipe in the project is RCP.

**Response:** Contractor is required to provide a drainage system that meets the intent of the contract documents. Testing requirements are shown in Section 2700. There is no infiltration testing required.

16. You have specified a wind load of 180/115 MPH on the shade sails. Nothing in the industry exists over 150/90. Is that acceptable?

**Response:** Yes 150/90 is acceptable but shall be in compliance with the North Carolina Building Code.

17. You have specified 5 lb snow load, again shade from any manufacturer carries no snow load, assuming this is acceptable? Yes, that is acceptable.

18. You call out two sails and four posts yet show five posts on the drawings, so is it actually 5?

**Response:** Yes, five posts are required per the drawings.

19. Would you accept a more economical design of a cantilever structure that does not have posts in front of the bleachers as shown on the drawings that will more effectively shade the bleachers with full coverage and posts in the rear of the bleachers?

**Response:** Yes, cantilevered structures are acceptable if they comply with the contract documents, to include quality commercial grade and in compliance with the North Carolina Building Code.

#### END OF ADDENDUM 2 – SITE WORK

#### ARCHITECTURAL (BUILDING)

Addendum #2 for Building is attached.



**ADDENDUM #2:**

DATE: November 13, 2019

JOB: Clarence Lee Tart Memorial Park Improvements; APN 1811

OWNER: City of Dunn

ARCHITECT: Gordon Johnson Architecture

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The following items or modifications to the original Plans and Specifications shall be included as part of the contract work. All General Conditions, Supplemental General Conditions, or Special Conditions shall remain as originally specified unless otherwise noted herein.

Respective Bidders shall include the provisions of this Addendum in their proposal and shall make a notation in the proposal that these provisions have been included.

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**PROJECT MANUAL**

1) 01230 Alternates:

Alternate No. G1 (add): Change to read “Provide and install Vertical Platform Lift where indicated on plans as manufactured by Ameriglide or approved equal. Approved equals include Savaria V-1504 by Godwin Elevator and Mac’s Lift Gate Inc. Extended Vertical Lift EVL Series. Basis of design lift to be Ameriglide model Hercules II 750 Commercial (or approved equal product) with 36”x60” platform and entry/exit same side of unit for indoor use. Provide gate/doors, upper level gate, emergency stop, two call/send controls and optional auto-opener. A/C power ballscrew or hydraulic drive in standard powder coat paint finish. Lift to make two stops with 10’-0” approximate lift height. Also provide all necessary power connections with optional battery power for a fully functional unit ready for use.

Alternate No. G2 (deduct): Change reference to “plywood ceiling” to 5/8” painted gypsum board ceiling as indicated on bulletin drawing BD1. Also add to this alternate work scope by the contractor (if accepted) a residential grade wood fold down attic stair to be installed in the gypsum board ceiling plane. Provide painted 1x4 wood trim at perimeter of stair frame.

**DRAWINGS**

- 1) Sheet A1.00 – All plastic laminate countertops noted to be of High Pressure laminate post formed with rolled front edges and separate backsplashes to match countertop material where indicated.
- 2) Sheet A1.00 – All Storefront window material shown on Det. 4 shall be anodized dark bronze finish.
- 3) Sheet A3.01 – Detail 2-Typical Wall Section; all interior stained and painted wood trim to be of clear solid poplar wood.

End of Addendum #2

# BUILDING – MULTI PRIME BID FORM

Proposal from \_\_\_\_\_, (hereinafter called "BIDDER"), organized and existing under the laws of the State of North Carolina, doing business as a (i.e., partnership, corporation, etc.) \_\_\_\_\_ to City of Dunn (hereinafter called "OWNER").

In compliance with your Advertisement for Bids, BIDDER hereby proposes to perform all WORK consisting of the construction of a control/score tower to include restrooms and concession, and associated amenities at the Clarence Lee Tart Memorial Park in strict accordance with the CONTRACT DOCUMENTS, within the time set forth therein, and at the prices stated below.

By submission of this BID, each BIDDER certifies, and in the case of a joint BID each party thereto certifies as to his own organization, that this BID has been arrived at independently, without consultation, communication, or agreement as to any matter relating to this BID with any other BIDDER or with any competitor.

BIDDER hereby agrees to commence work under this contract on or before a date to be specified in the NOTICE TO PROCEED and to fully complete the PROJECT within **180** consecutive calendar days thereafter. BIDDER further agrees to pay as liquidated damages, the sum of **\$500.00** for each consecutive calendar day thereafter.

BIDDER acknowledges receipt of the following ADDENDA:

<u>Number</u>	<u>Date (mm/dd/yy)</u>
_____	_____
_____	_____
_____	_____

BIDDER hereby agrees that preference will be given to domestic construction material and further agrees to require subcontractors, materialmen and suppliers to also give preference to domestic construction material.

## Completing the Bid Form

- All bids must be made on the accompanied bid form.
- All blank spaces must be properly filled in using ink or type and completely executed when submitted. No other marks or additional lines shall be added.
- The bid form shall not contain qualified information such as differences in color prices or substitutions of equipment.
- Cost for alternate equipment shall be specified in the alternate section. Do not include the cost of these items in the base bid. All alternates shall be the total cost of the material or equipment to include labor.
- All cost associated with furnishing and installing the equipment specified shall be entered on the appropriate line item. Do not add separate line items such as bonding or labor.
- Bids using 'white-out' for corrections will not be accepted. If a correction is required, the misinformation must be struck through, initialed and new information inserted in a readable manner above the incorrect information.
- Bids shall be sealed in a separate envelope and submitted to Owner. A Federal Express, United Parcel Service, etc. package is considered a 'mailer' and not a separate envelope.
- **Bid Bonds are required.**
- Bids with improperly completed bid forms are subject to being rejected as a bonafide bid. If Owner elects to award the project it shall be to the lowest responsible, responsive bidder.
- The Owner retains the right to add, delete components, or modify the project components upon bid award.

**Clarence Lee Tart Memorial Park  
Addition and Improvements – BUILDING**

The below referenced items are the major components of work and shall not be construed as to be an all inclusive list. Any and all items shown in the plans and technical specifications shall be furnished and installed by the Contractor. They shall include all labor, materials, equipment, supplies, construction, supervision and apparatus necessary for and to construct and place into acceptable service the site improvements as shown on the drawings and described in the foregoing specifications and as follows:

**CONTROL TOWER WITH RESTROOMS AND CONCESSION – MULTI PRIME  
MAJOR CONTRACT FOR MULTI PRIME CONTRACTOR**

**BASE Bid** \_\_\_\_\_ \$ \_\_\_\_\_ License #: \_\_\_\_\_

Bidder to list the names, bid, and license number of the major subcontractors noted below. Bidder acknowledges that these costs are included in the base bid stated above:

Mechanical \_\_\_\_\_ \$ \_\_\_\_\_ License #: \_\_\_\_\_

Plumbing: \_\_\_\_\_ \$ \_\_\_\_\_ License #: \_\_\_\_\_

Electrical: \_\_\_\_\_ \$ \_\_\_\_\_ License #: \_\_\_\_\_

**BUILDING CONTINGENCY AND ALLOWANCES:** Bidder acknowledges that the allowances listed below are included in his base bid stated above.

- |   |    |                  |
|---|----|------------------|
| 1. Contingency allowance for General Construction | \$ | <u>25,000.00</u> |
| 2. General Construction testing allowance         | \$ | <u>5,000.00</u>  |
| 3. Allowance for door hardware material           | \$ | <u>9,000.00</u>  |
| 4. Allowance for LVT Flooring material            | \$ | <u>6,000.00</u>  |

**ALTERNATES**

**Alternate No. G1 (add):**

Provide and install Vertical Platform Lift (PVL) Porch-Lift Platform Lift where indicated on plans as mfg by ThyssenKrupp Access or approved equal. Lift to be ThyssenKrupp model EZE 36"x60" entry/exit same side unit for indoor use. Provide gate/doors and optional auto-opener. A/C power ballscrew drive in standard powder coat paint finish. Lift to make two stops with 10'-0" lift height. Also provide all necessary power connections for a fully functional unit ready for use.

Total Alt. G1 \$ \_\_\_\_\_

**Alternate No. G2 (deduct):**

Replace roof truss structure and skylight shown on plans with similar outside profile roof structure truss shape but with flat bottom cord and painted gypsum board ceiling and no skylight (see attached BD1 drawing). All wood trim and finish work within the interior truss space shown on the plans shall be omitted if this alternate is taken.

Total Alt. G2 \$ \_\_\_\_\_

**Alternate No. G3 (deduct):**

Replace colored split-face CMU face block with non-colored split-face CMU face block and add a prime and three coat paint finish specified.

Total Alt. G3 \$ \_\_\_\_\_

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**Alternate No. G4 (add/deduct):**

Replace all LED light fixtures connected to the emergency lighting panel with similar specified fixtures to include a locally supplied battery backup with each fixture.

Total Alt. G4 \$ \_\_\_\_\_

**Alternate No. G5 (deduct):**

Delete the 16 decorative exterior wood roof eave brackets shown on the plans.

Total Alt. G5 \$ \_\_\_\_\_

**Alternate No. G6 (add/deduct):**

Replace the second floor aluminum storefront windows with similar shaped vinyl clad wood windows with similar 1" low-e insulated tinted tempered glass. All operable units shall remain as operable units as shown on the plans.

Total Alt. G6 \$ \_\_\_\_\_

**RESPECTFULLY SUBMITTED**

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Printed Name of Authorized Representative

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Title

\_\_\_\_\_  
Address1

\_\_\_\_\_  
Address2

\_\_\_\_\_  
City State Zip

\_\_\_\_\_  
Date

**ATTEST**

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Title

(Seal – If BID is by a Corporation)