

# Elizabeth Cashwell Elementary School Partial Re-Roofing

2970 Legion Road

Fayetteville, North Carolina 28306

Owner: Cumberland County Schools

Building Code Summary Appendix 'B' (Abbreviated for Re-roofing Only)  
(Following 2018 NC State Building Code)

Name of Project: Elizabeth Cashwell Elementary School Partial Re-Roofing  
Address: 2970 Legion Road, Fayetteville, NC 28306  
Owner or Authorized Agent: Chip Perry Phone #: 910-678-2551  
e-mail: philipperry@ccs.k12.nc.us


Owned By:  City/County  State  
Enforcement Jurisdiction:  City  County  City/County  
Name of Jurisdiction: Cumberland County

PROJECT SUMMARY: Remove & reinstall wood conduit supports, and install new roof membrane over existing built-up membrane to remain.  
Building Description: Similar to type IIA unsprinkled education occupancy - masonry walls with metal and built-up roofing. Original building constructed in 1966.

LEAD DESIGN PROFESSIONAL / PROJECT COORDINATOR: Gordon Johnson, AIA, LEED AP  
DESIGNER FIRM NAME NC LICENSE # TELEPHONE #  
Architectural: Gordon Johnson Architecture Gordon Johnson 6194 910-223-2186  
e-mail: gordon@gordonjohnsonarchitecture.com

Occupancy Information:  
Primary Occupancy - Educational

Building Area:  
Ground Floor: 73509 s.f.  
Area of Re-Roofing Construction: 48,464 s.f.

Fire Protection Requirements:  
Roof / Ceiling assembly is 

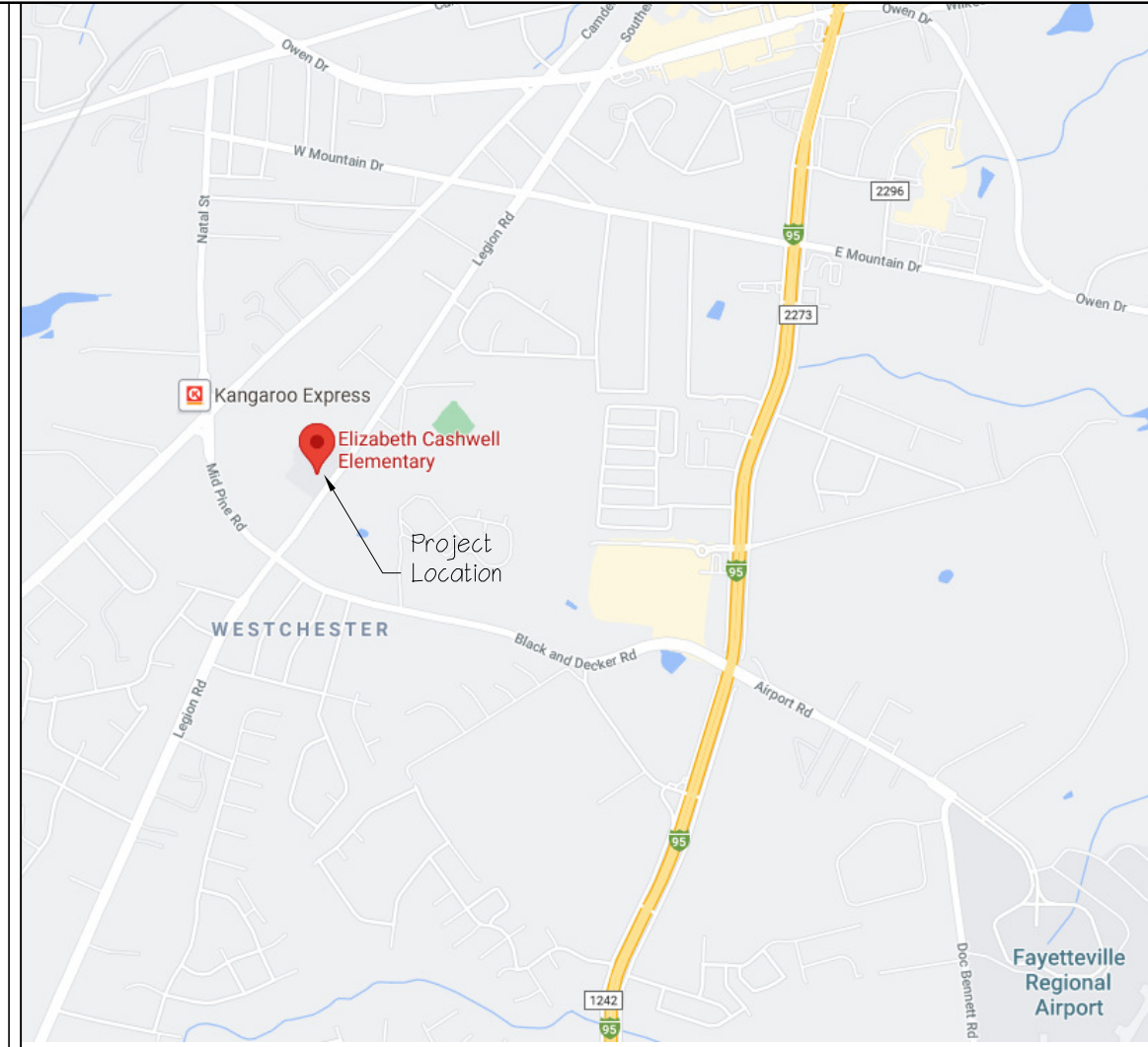
2018 North Carolina Energy Conservation Code:  
Not Applicable: Roof Membrane Replacement Only

Structural Design Loads (For Re-roofing Only):

General Notes  
1) Design Loads  
Risk Category III  
Dead Loads:  
New Roofing Construction - 15 lbs./s.f.  
Existing Roofing / Insulation Construction - 3.0 lbs./s.f.  
Wind Load:  
Ultimate Wind Speed (3-second gust) 130 mph - Fig. 1609.3 (2)  
Normal Wind Speed 101 mph (2018 NC Building Code) - Table 1609.3.1  
Exposure Category: B

Component 4 Cladding:  
All cladding and building components are designed and anchored to resist 110 mph component and cladding wind forces determined according to the 2018 NC State Building Code for the Exposure Category indicated above. Provide all bracing and connections necessary to transfer lateral loads to structure.

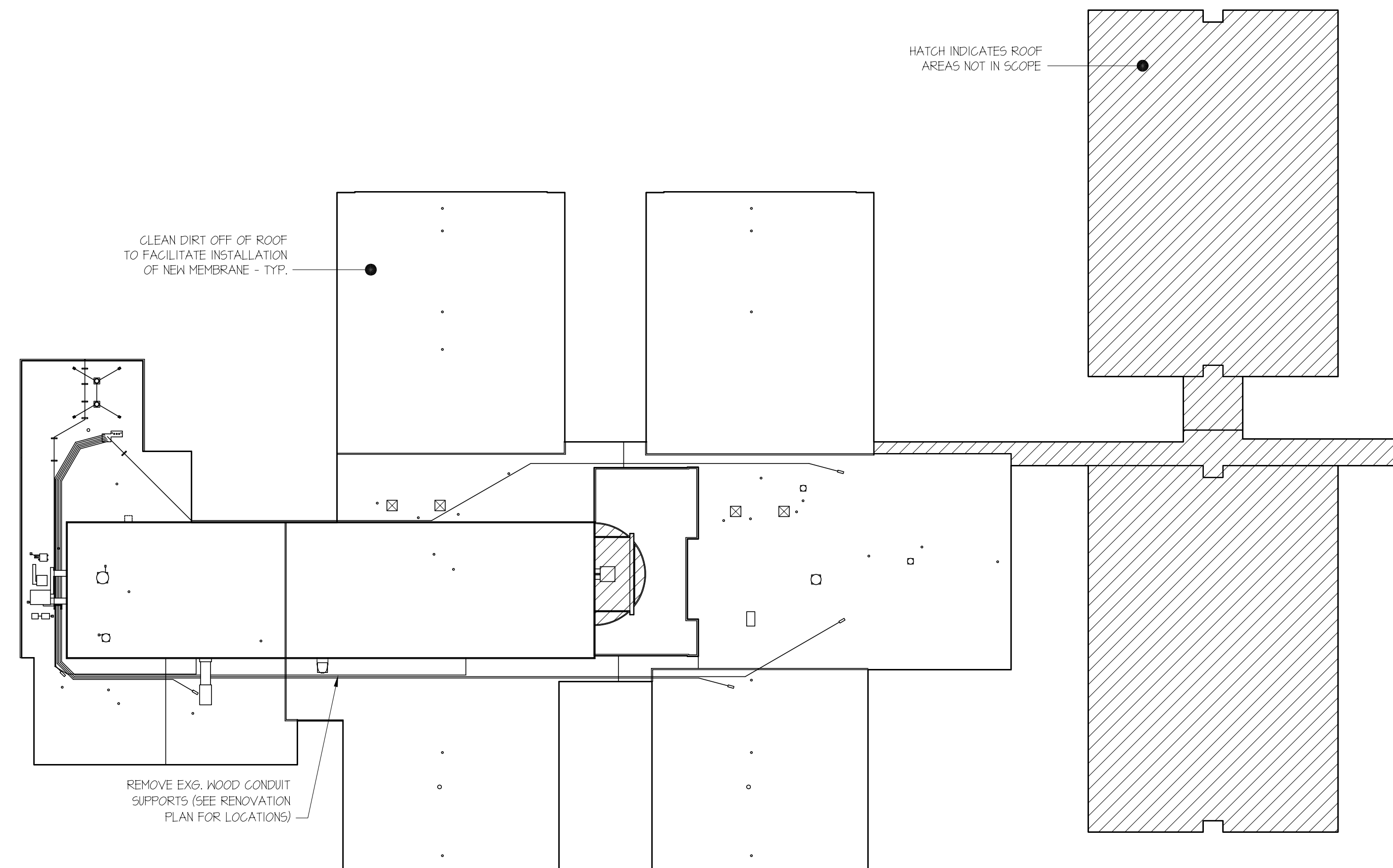
2) Follow recommendations of single-ply membrane manufacturer, SFRJ, NRCA, SMACNA, and industry standards for attachment of membrane to meet wind loads noted above.



VICINITY MAP  
FAYETTEVILLE, NC

### Drawing Sheet Index

- T51 Cover Sheet, Demo Plan & Details
- A1.0 Roof Plan & Notes
- A2.0 Roof Details



1 KEY PLAN  
1/32" = 1'-0"

**GORDON JOHNSON**  
Architecture

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Elizabeth Cashwell Elementary School Partial Re-Roofing  
2970 Legion Road  
Fayetteville, NC 28306

DRAWN BY: J.P. Pike  
REVIEWED BY: G. Johnson  
DATE: 6-1-21  
PROJECT NO.: 21026  
NOTES:

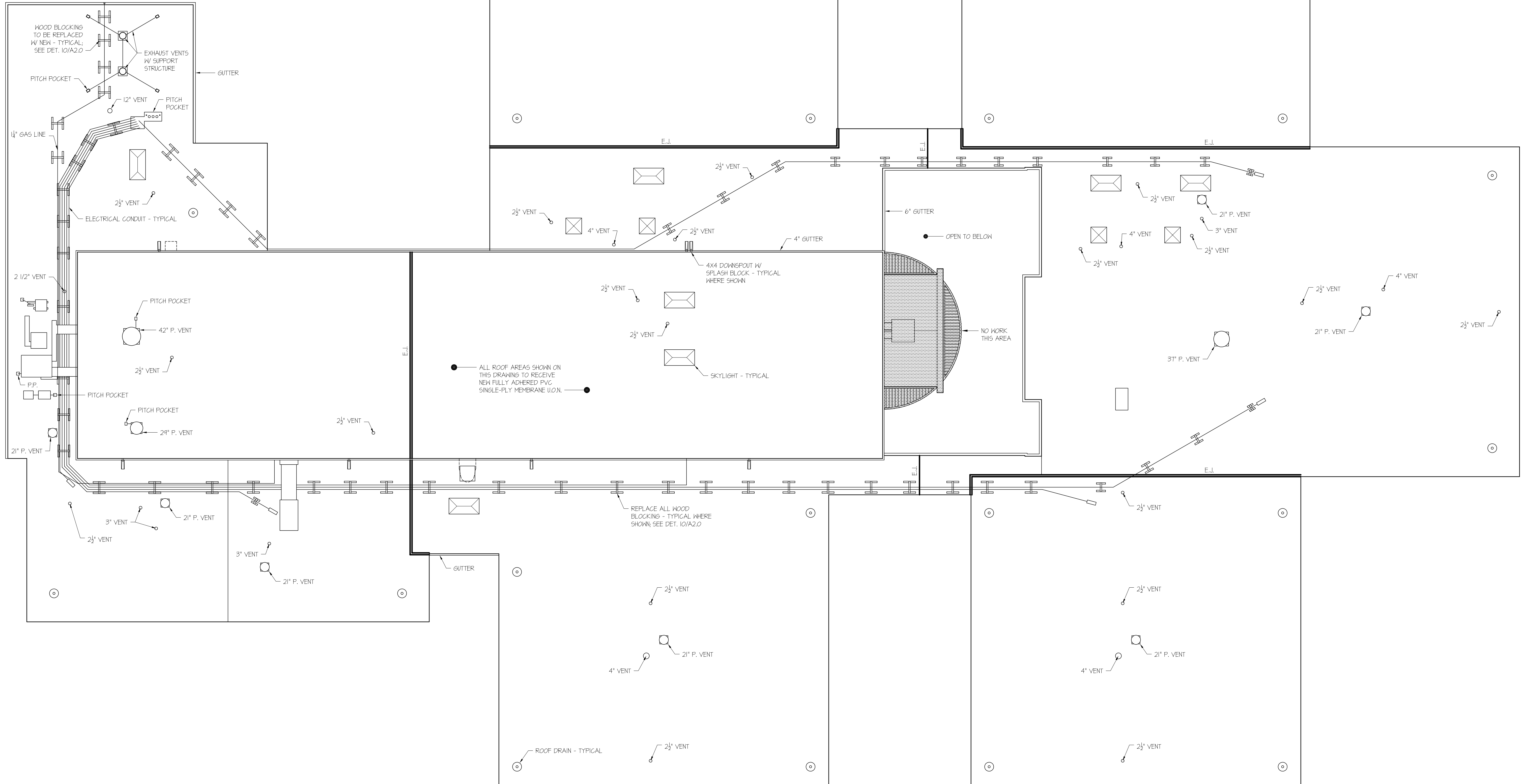
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△	6-1-21 Fire Rating
△	
△	

SHEET NUMBER



GENERAL NOTES

- 1) ALL ROOFTOP COMPONENTS SHOWN ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED (U.O.N)
- 2) SEE SHEET A2.0 FOR ALL TYPICAL RENOVATION DETAILS.
- 3) ALL WOOD BLOCKING IS EXISTING TO REMAIN U.O.N. (UNLESS OTHERWISE NOTED), IF ROTTEN WOOD IS DISCOVERED CONTACT ARCHITECT FOR REVIEW AND DIRECTION.
- 4) ALL METAL CORNINGS, GUTTERS, & DOWNSPOUTS ARE EXISTING TO REMAIN.
- 5) EXISTING BUILT-UP 4-PLY ROOF MEMBRANE TO REMAIN; CONTRACTOR TO FULLY ADHERE NEW ROOF MEMBRANE SPECIFIED DIRECTLY TO EXISTING (NO COVER BOARD NEEDED).
- 6) CUMBERLAND COUNTY SCHOOLS HAS CONFIRMED THAT NO ASBESTOS CONTAINING MATERIALS WERE USED TO CONSTRUCT THE EXISTING ROOF. CONTRACTORS SHALL PROVIDE ALL TEMPORARY FACILITIES INCL. TOILETS, WATER, FALL PROTECTION, ETC. DURING ENTIRE COURSE OF CONSTRUCTION. ELECTRIC (POWER) UTILITY (IF NEEDED) WILL BE PROVIDED BY THE OWNER.
- 7) ALL CONSTRUCTION DEBRIS SHALL BE HAULED OFF SITE AND LEGALLY DUMPED AT THE CONTRACTOR'S EXPENSE.
- 8) ALL EXISTING ROOF DRAINS INDICATED ARE TO REMAIN. CONTRACTOR TO REPLACE STRAINER BASKETS & CLAMP RINGS W/ NEW COMPONENTS ONCE NEW MEMBRANE IS IN PLACE.
- 9) ALL EGRESS DOORS / PATHS TO BE KEPT FREE OF OBSTRUCTION DURING THE WORK. SHOULD A REASON ARISE TO ALTER EGRESS, THE CONTRACTOR WILL CONSULT WITH THE DESIGNER AND LOCAL AHJ / FIRE MARSHAL TO DEVELOP AN ACCEPTABLE SOLUTION (ALSO REF. GENERAL CONDITIONS ARTICLE 11).
- 10) CONTRACTOR IS RESPONSIBLE FOR COST OF ALL CONSTRUCTION PERMITS & PLAN REVIEWS OF THE SAME.

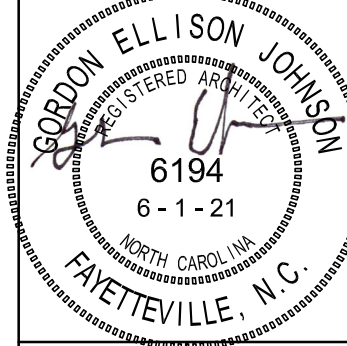


1 ROOFING RENOVATION PLAN  
3/32" = 1'-0"



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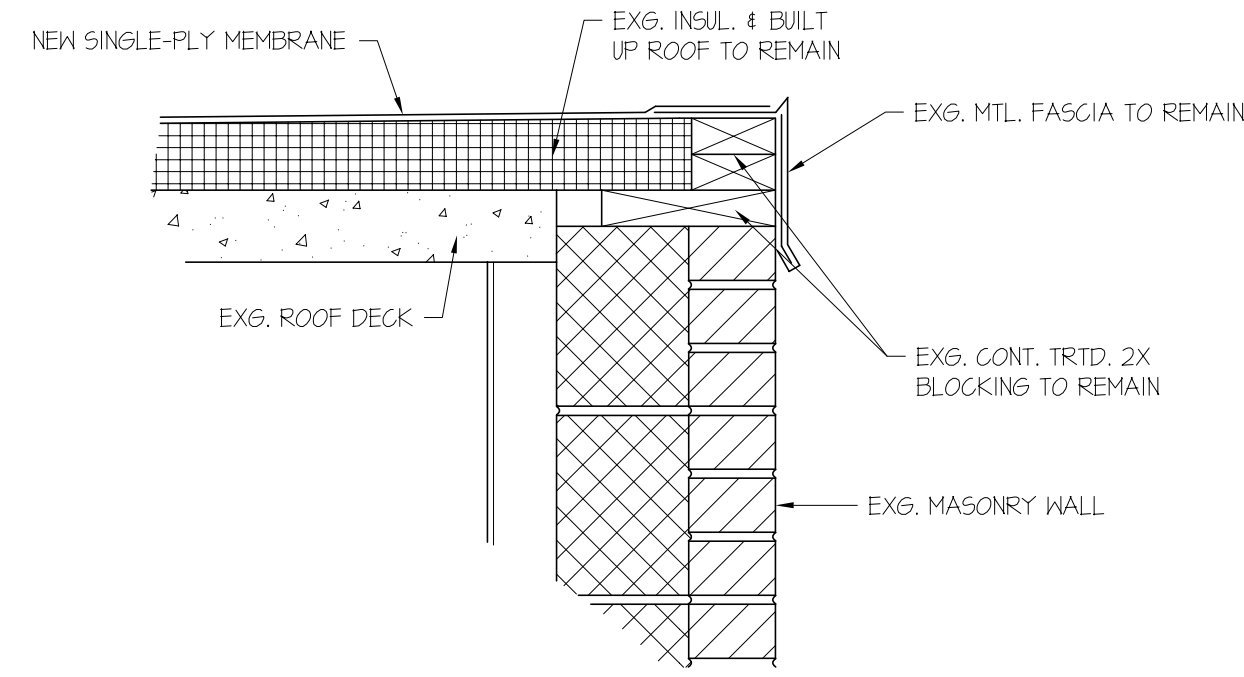
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DRAWN BY: JD Pike  
REVIEWED BY: G. Johnson  
DATE: 6-1-21  
PROJECT NO.: 2106  
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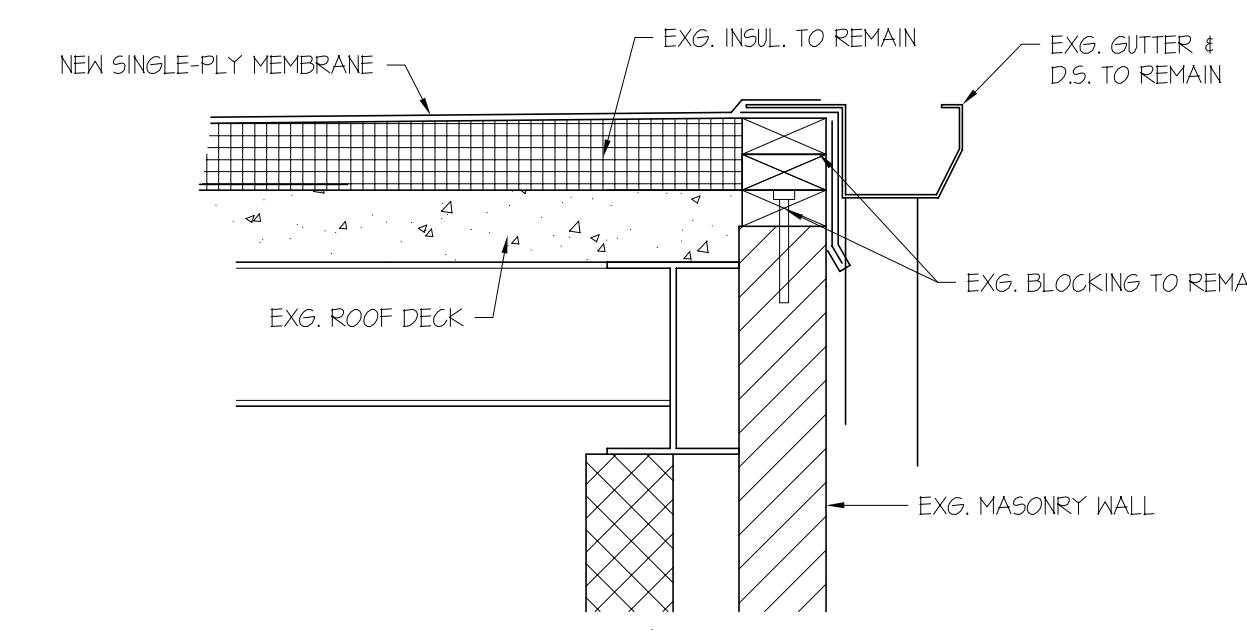
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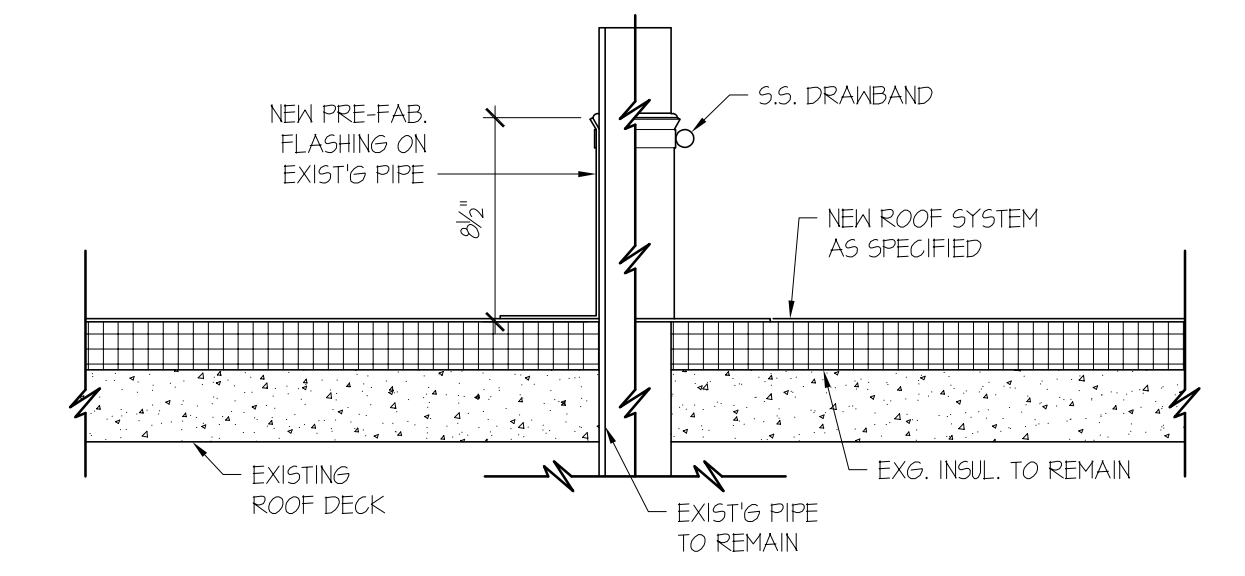




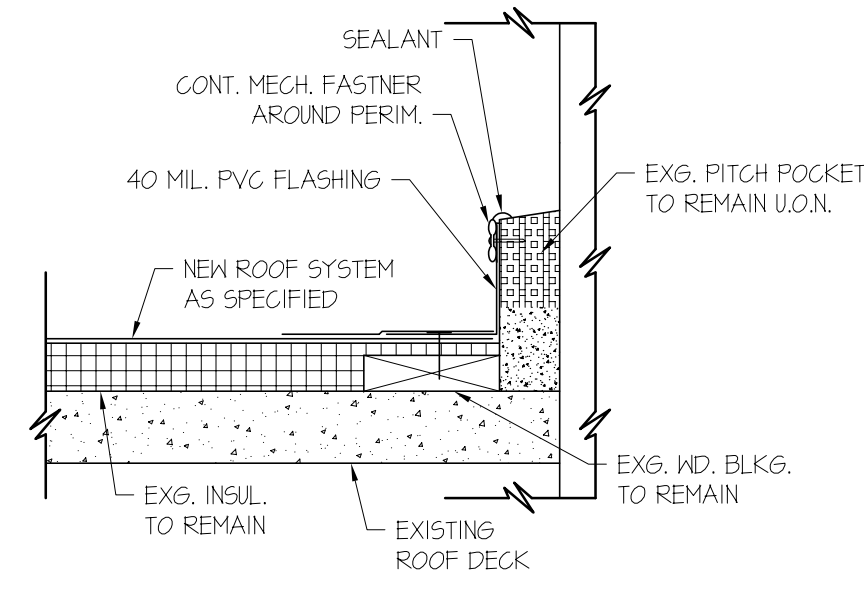
1 TYP. SECTION @ BUILDING EAVE  
1 1/2" = 1'-0"



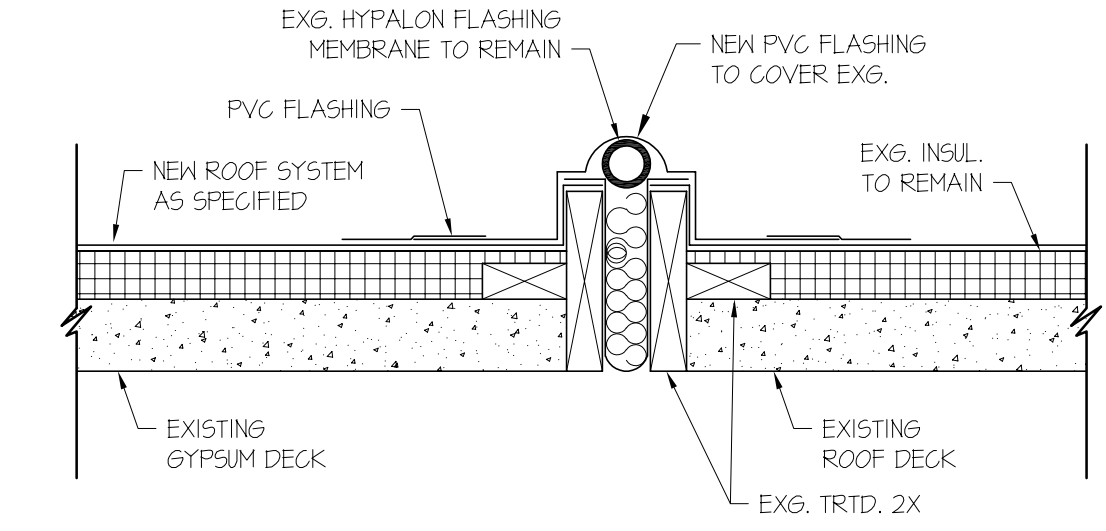
2 TYP. SECTION @ BUILDING EAVE W/ GUTTER  
1 1/2" = 1'-0"



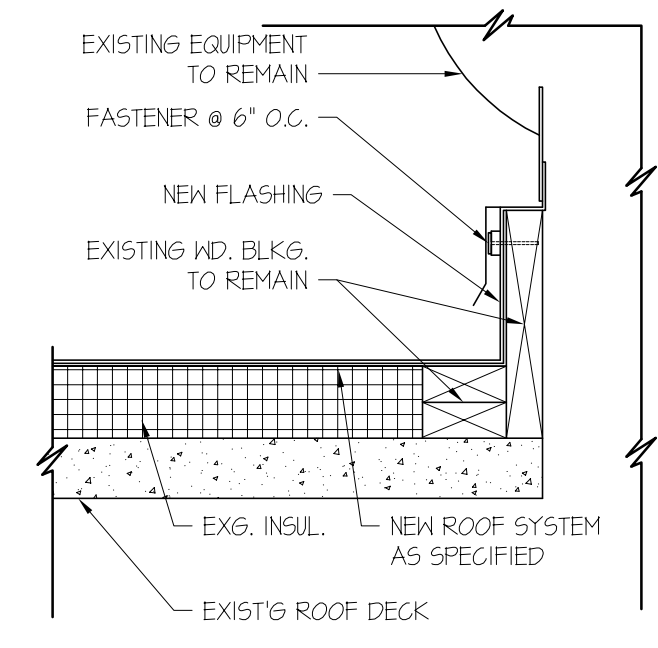
3 TYP. SECTION @ VENT PIPE PENETRATION  
1 1/2" = 1'-0"



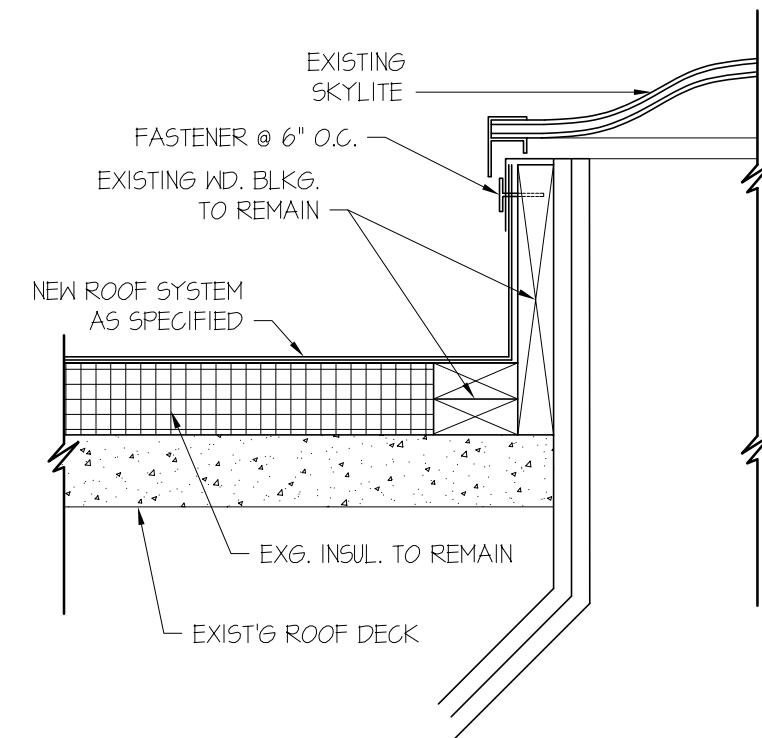
4 TYP. SECTION @ PITCH POCKET  
1 1/2" = 1'-0"



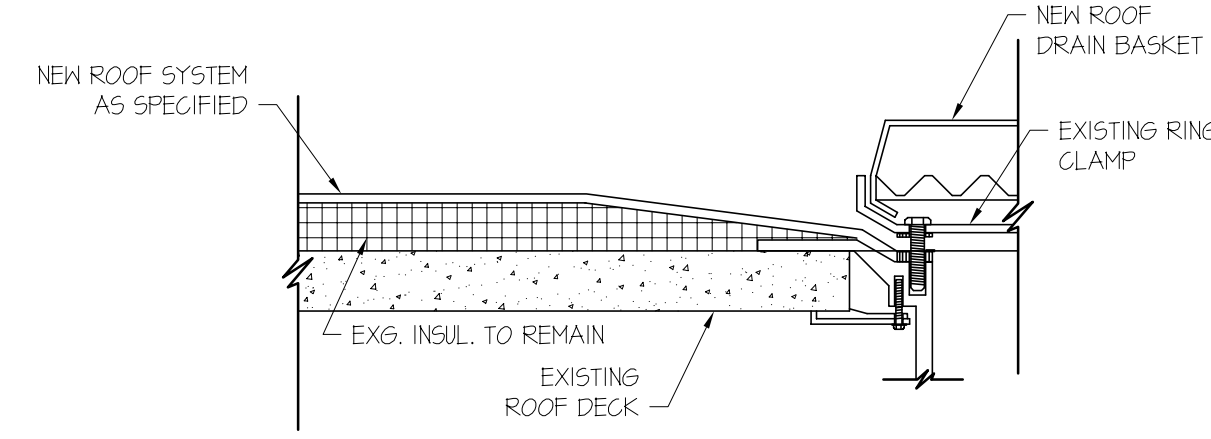
5 TYP. SECTION @ EXPANSION JOINT  
1 1/2" = 1'-0"



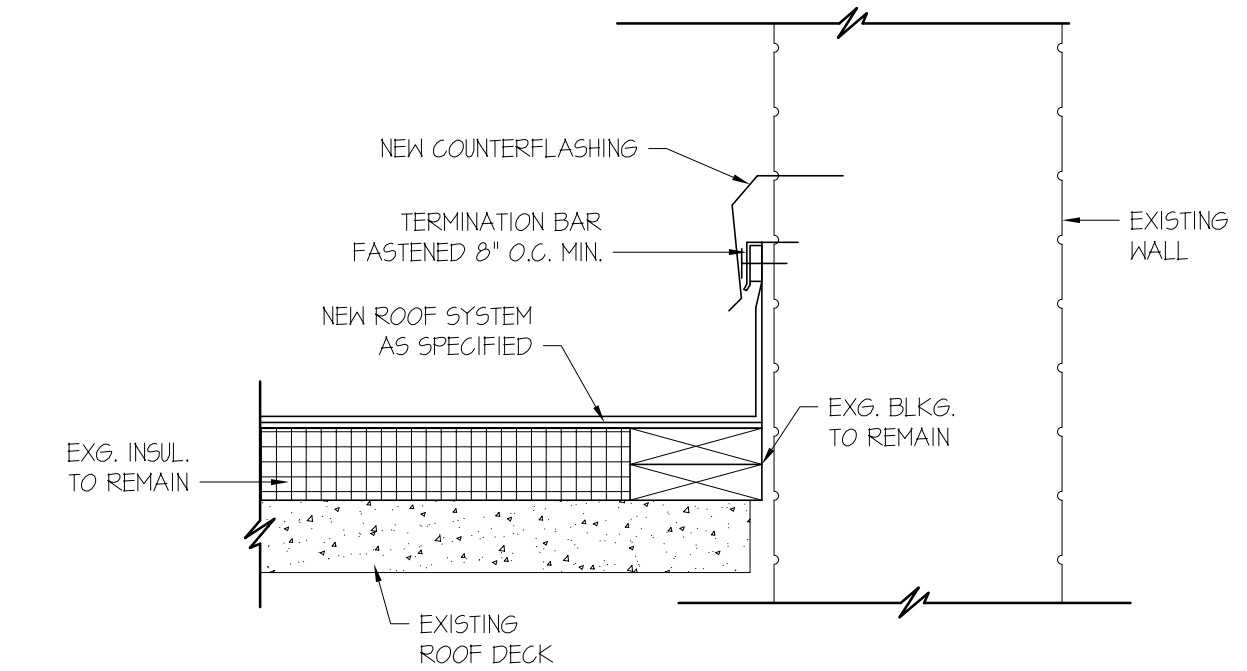
6 TYP. SECTION @ EQUIPMENT CURB  
1 1/2" = 1'-0"



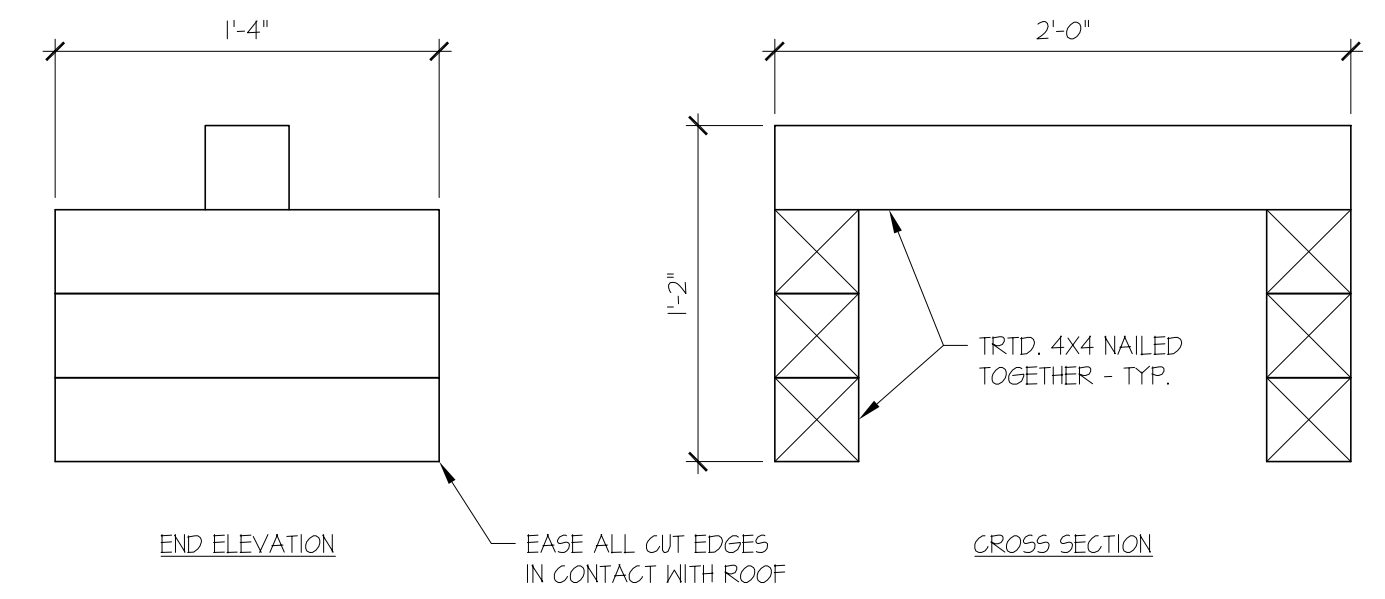
7 TYP. SECTION @ SKYLIGHT  
1 1/2" = 1'-0"



8 TYP. SECTION @ ROOF DRAIN  
1 1/2" = 1'-0"



9 TYP. SECTION @ HIGH WALL TRANSITION  
1 1/2" = 1'-0"



10 TYP. WOOD BLOCKING SUPPORTS FOR EXG. CONDUITS  
1 1/2" = 1'-0"