400 Airport Road

Fayetteville, North Carolina 28306

Owner: City of Fayetteville

A.I.P.: 3-37-002|-054-2022

BUILDING CODE SUMMARY

Name of Project: Fayetteville Regional Airport Airline Terminal Improvements - Part 3 Address: 400 Airport Road, Fayetteville, NC 28306 Owner or Authorized Agent: Toney Coleman, PhD, A.A.E. Phone #: 910-433-1625 e-mail: ToneyColeman@FayettevilleNC.qov ☐ Private ☐ City/County ☐ State Enforcement Jurisdiction: 🔼 City ☐ County ☐ City/County Name of Jurisdiction: City of Fayetteville

PROJECT SUMMARY: 1,677 s.f. office renovation at Ticketing wing & VIP Lounge, 738 s.f. second floor addition at Concourse B, and re-roofing of Concourse B as well as Ticketing and Baggage Claim wings Building Description: Existing building is primarily a concrete frame w/ built up roofing. New structures to be steel framed w/ low sloped metal deck & single ply & metal roofs. Scope of Work: Renovate existing space for additional airline office suite, add 738 s.f. for additional seating at Concourse B, clean stone coating off roofs described above and add I" insulation \$ re-roof. Code Compliance Summary: 2018 NCSBC

<u>Structural and Trusses</u>

Alternate Means of Compliance Request: n/a

Architect of Record Gordon Johnson Architecture Gordon E. Johnson, AIA, LEED AP, President, Project Manager 654 Hay Street, Svite 4 Fayettéville, North Carolina 28301 Ph.: (910) 223-2186 Cell: (910) 977-1234

Fleming and Associates Sarah Duncan, PE, Project Manager 1004 Hay Street Fayetteville, North Carolina 28305 Ph.: (910) 433-2825 e-mail: sduncan@flemingandassociates.com NC License #: 039250 e-mail: qordon@qordonjohnsonarchitecture.com NC License #: 6194

Mechanical, Plumbing, & Sprinkler / Standpipe RMF Engineering Avery Monroe, PE, Project Manager 8731 Red Oak Boulevard, Suite 200 Charlotte, North Carolina 28217 Ph.: (704) 909-6612 Cell: (919) 225-5170 e-mail: avery.monroe@rmf.com NC License #: 019794

Electrical, Communications, & Fire Alarm RMF Engineering Christina D. Caldwell, PE, Project Manager 8731 Red Oak Boulevard, Suite 200 Charlotte, North Carolina 28217 Ph.: (704) 909-6612 Cell: (980) 900-2946 e-mail: christina.caldwell@rmf.com NC License #: 040724

Building Code:	■ 2018 North Carolina State Building Code (NCSBC) ☐ Chapter 34						
_	2009 NC Rehab		· ·				
	2015 Existing Buildin	q Code					
	Code Used f	_					
New Building:	□ New Building	Shell Building	☐ First Time Interior Upfil				
	Addition	☐ Alteration to Shell	'				
Existing Building:	Renovation	☐ Interior Completion	☐ Tenant Alteration				
	Reconstruction	Repair	☐ Alteration to Shell				
	☐ Change of Use Tenant Space ☐ Change of Occupancy						
	Note: Zoning Review is	Required for Change of Us	e or Occupancy				
Original Occupan	cy: <u>Mixed - A2, A3, B</u>	s, M, Śl	. 2				

		<u>OCCUPA</u>	ANCY INFORM	ATI <u>ON</u>	
Primary Occupancies:					
Assembly:	□ A-I	□ A-2	A-3	□ A-4	☐ A-5
Business:					
Educational:					
Factory-Industrial:	□ F-I	□ F-2			
High-Hazard:	□ H-I	□ H-2	☐ H-3		☐ H-5
Institutional:	-	□ I-2	□ 1-3	□ 1-4	
1-3 USE CONDITION:		\square 2	\square 3	□ 4	□ 5
Mercantile:					
Residential:	\square R-I	□ R-2	□ R-3	□ R-4	
Storage:	S-I	S-2	☐ High-pi	led	
S-I SPECIAL CONDITION	N: Repair	Garage (406	6.7)		
S-I SPECIAL CONDITION	ON - Parkind	g Garage:	Open (406.5)	□ Enclosed (406.6)
Utility and Miscellaneous	5: 🗌 -	_	·		
Other Uses:					
(508.2) Accessory l	Jses (Indicate	Percentages):	A-2, M, S-I		
(509) Incidental l	lses:		_		
Special Occupancies	402	□ 403 □	1404	405 🗆 40	06

 □ 409
 □ 410
 □ 411
 □ 412
 □ 413
 □ 414
 □ 415
 416 417 418 419 420 421 422
 □ 423
 □ 424
 □ 425
 □ 426
 □ 427
 □ 428
 □ 429
 □ No ■ Yes Separation: I HR. at Tenant Spaces Mixed Occupancy: Exception: 402.4.2.1 \$ 402.4.2.2.1

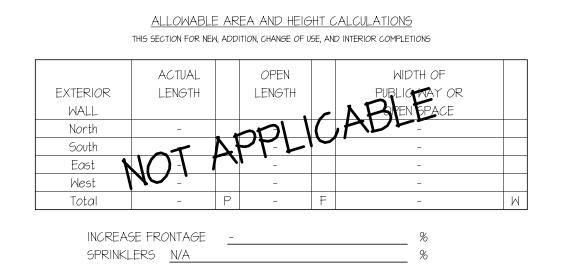
□ Non-Separated Mixed Occupancy (508.3) Separated Mixed Occupancy (508.4)

Proposed Occupancy: <u>Mixe</u>d - A2, A3, B, M, SI

Allowable Area of Oppository A Philipped of Occupancy B Allowable Area of Occupancy B

General Explanatory Notes:

- I) This building is not Occupancy Category 4 per Table I-I of 2005 ASCE-7 therefore "Operational Access" described in 11.5.2 of 2005 ASCE-7 IS NOT REQUIRED.
- 2) See Plumbing, Mechanical, & Electrical Drawings for fire rated penetration details (if required).



FRONTAGE INCREASE FORMULA ALLOWABLE AREA FORMULA $I_{F} = 100 (F/P - 0.25) W/30$

		(A)	(B)	(C)	(D)	(E)	RATIO OF	(F)	SEPARATIO
STORY NO.	OCCUPANCY	BLDG AREA	TABLE 506.2	AREA FOR	AREA FOR	ALLOWABLE	ACTUAL	MAXIMUM	RATING
		PER STORY	AREA	FRONTAGE	SPRINKLER	AREA FOR	/ ALLOWABLE	BUILDING	REQUIRED
		(ACTUAL)		INCREASE 1	INCREASE	UNLIMITED		AREA	
First	Mixed	52,600	n/a	n/a	n/a	Unlimited	n/a	Unlimited	402.4.2
Second	Mixed	46,013	n/a	n/a	n/a	Unlimited	n/a	Unlimited	402.4.2
-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	_

ease, I = 100 [F/P - 0.25] X W/30 = ____ (%)

ALLOWABLE HEIGHT										
Most Restrictive Use	Use ALLOWABLE HEIGHT INCREASE FOR SHOWN ON PLANS									
(Group)	(TABLE 504.3)	SPRINKLERS		REFERENCE						
Type of Construction	Type:	Ilb	Type: Ilb	Table 601						
Building Height in Ft.	H = 55 ft.	H + 20' = 75 ft.	H = 34 ft.	Table 504.3						
Building Height in Stories	5 = 2	5+1=3	5 = 2	Table 504.4						

BUILDING DATA THIS SECTION REQUIRED FOR ALL PROJECTS

	ı	TIID DECTION REQUIRED I C	ALL I ROJECTS			
Construction Type:	□I-A □	-В 🗆 II-А	NI-B	□ III-A	□ III-B	
٦١	□ IV-HT □	V-A □V-B				
	Mixed Constructi	on: No	□ Yes	Types:		
Sprinklers: No	Yes	NFPA 13 NFPA	4 13R	J		
□Par	tially Sprinklered	☐ Spec	ial Suppression			
Standpipes: No	Yes	Class: 🔲 I			Net 🗎	■ Dry
Fire District: No	□ Yes	(Appendix D)	☐ Flood H	łazard		
Building Height:	<u>34 Feet 2 St</u>	ory				
Basement: No	□Yes Mez	zzanine: 🔲 No	□Yes			
Highrise: No	☐Yes Life Sal	ety Plan Sheet #	(if provided):	N/A		
Gross Building Area	:		•			
FLOOR	EXISTING (SQ. FT.)	N	EW (SQ FT)		SUB-TOT	AL
Basement	n/	а	n/a			n/a
Ground Floor	52,600)	0		52	600
Mezzanine	()	0			0
2nd Floor	45,27	5	738		4	6,013
3rd Floor	n/		n/a			n/a

Area of Project Tenant / Alt. / Renov. _____2,415

THIS SECTION REQUIRED FOR ALL PROJECTS

BUILDING	FIRE		TING	DETAIL #	DESIGN#	DESIGN #	DESIGN #
ELEMENT	SEPARATION	REQ'D*	PROVIDED	AND	FOR	FOR	FOR
	DISTANCE		(W /l_HR*	SHEET #	RATED	RATED	RATED
	(FEET)		REDUCTION)		ASSEMBLY	PENETRATION	JOINTS
Bearing walls Exterior							
Ñorth	-	N/A	-	-	-		
East	-	N/A	_	-	-		
West	-	N/A	_	-	1		
South	-	N/A	-	=	=		
Interior Bearing Walls	-	0	-	-	-		
Non-bearing walls Exterior							
North >	60	0	0	-	-		
East >	60	0	0	-	-		
West >	60	0	0	-	1		
South >	60	0	0	=	=		
Interior Non Bearing Walls	-	0	0	-	-		
Structural frame, including	-	0	0	-	=		
columns, girders, trusses							=
Floor construction including						MECHAN	
supporting beams & joists.	-	0	0	-	-	ELECTR	
List construction type.						PLUME	,
Floor ceiling assembly		0	0	-	-	1	
Columns supporting floors	-	0	0	-	=	DRAW	INGS
Roof construction, including	-	0	0	-	-		
supporting beams & joists**							
Roof ceiling assembly	-	0	0	-	-		
Columns supporting roof	-	0	0	-	-		

Existing

N/A Incidental Use Separation N/A Dwell / Sleep Unit Separation N/A Smoke Barrier Separation Tenant Separation

Shaft - Exit Enclosures

Shaft - Other (Elevator)

Occupancy Separation

Party / Fire Wall Separation

Corridor Separation

Panic Hardware:

98,613

2,415

Area of Construction

Life Safety Plan Sheet #, if Provided:

PERCENTAGE OF WALL OPENING CALCULATIONS THIS SECTION FOR ADDITIONS, NEW AND CHANGE OF USE

N/A

Allowable openings per Table 705.8 Unlimited per 705.8.1.2

*Indicate section number permitting reduction

**Indicated if using Table 601 Note C exception

	DED CENTA CE OF LIAIL ODES	IING CALCULATIONS
	PERCENTAGE OF WALL OPEN	NING CALCULATIONS
	THIS SECTION FOR ADDITIONS, NEW	AND CHANGE OF USE
Fire Partitions 709	☐ Fire Walls 706	Fire Barriers 707
☐ Smoke Partitions 711	☐ Smoke Barriers 710	Shaft Enclosure 708

	LIFE SA	AFETY SYSTEM REQUIREMENT	<u> </u>
	THIS :	SECTION REQUIRED FOR ALL PROJECTS	
Emergency Lighting:	□ No	Yes	
Exit Signs:	\square No	Yes	
=ire Alarm:	\square No	Yes	
Smoke Detection Systems:	□ No	Yes	

□ No Yes

EXIT REQUIREMENTS NUMBER AND ARRANGEMENT OF EXITS THIS SECTION REQUIRED FOR ALL PROJECTS

FLOOR, ROOM	MINIMUM ²		TRAVEL D	DISTANCE	ARRANGEMENT MEANS OF		
AND / OR SPACE	NUMBER (OF EXITS			EGRESS ^{1,3} (SECTION 1015.2)		
DESIGNATION	REQUIRED	SHOWN	ALLOWABLE	ACTUAL TRAVEL	REQUIRED	ACTUAL	
	ON PLANS		TRAVEL DISTANCE	DISTANCE	DISTANCE	DISTANCE	
			(TABLE 1016.1)	SHOWN ON	BETWEEN	SHOWN ON	
				PLANS	EXIT DOORS	PLANS	
Ist Floor Landside	3	9	250	160	140	390	
Ist Floor Airside	4	8	250	115	55	100	
2nd Floor Landside	2	3	250	245	50	58	
2nd Floor Airside	4	8	250	215	65	100	

Corridor dead ends (Section 1018.4) Single exits (Section 1015.1; Section 1020.2) 3 Common Path of Eqress Travel (Section 1014.3)

THIS	SECTION REQUIRED	FOR ALL PROJECTS		
b)	(a/b)	(c)	EXIT WII	DTH (i
REAI	NUMBER OF	EGRESS WIDTH	REQUIRED WIDTH	AC1
FR	OCCUPANTS	PER OCCUPANT	(SECTION 1005 I)	SHON

(a)	(b)	(a/b)	(c)			EXIT WI	DTH (in.) ^{2, 3, 4, 5, 6}		
AREA	AREA	NUMBER OF	EGRESS WIDTH		REQUIRED WIDTH		ACTUAL WIDTH		
sq. ft.	PER	OCCUPANTS	PER OCCUPANT		(SECTION 1005.		SHOWN ON PLAN		
·	OCCUPANT		(TABLE	1005.1)	(a/b)	Хc			
			STAIR	LEVEL	STAIR	LEVEL	STAIR	LEVE	
52,600	See Al.10	526	n/a	0.2	n/a	103.2	n/a	578.0	
45,275	See Al.20	1,090	0.3	0.2	317.4	211.6	396.0	374.0	
ants		1,616	-	_	_	_	_	_	
	AREA! sq. ft. 52,600 45,215	AREA' AREA' 5q. ft. PER OCCUPANT 52,600 See Al.10 45,275 See Al.20	AREA' AREA' NUMBER OF sq. ft. PER OCCUPANTS 52,600 See Al.IO 526 45,275 See Al.20 1,090	AREA' AREA' NUMBER OF EGRESS sq. ft. PER OCCUPANTS PER OCCUPANT (TABLE 52,600 See Al.10 526 n/a 45,275 See Al.20 1,090 03	AREA' AREA' NUMBER OF EGRESS WIDTH sq. ft. PER OCCUPANTS PER OCCUPANT (TABLE 1005.1) STAIR LEVEL 52,600 See Al.10 526 n/a 0.2 45,275 See Al.20 1,090 0.3 0.2	AREA' AREA' NUMBER OF EGRESS WIDTH REQUIRE sq. ft. PER OCCUPANTS PER OCCUPANT (SECTION (TABLE 1005.I) (a/b) STAIR LEVEL STAIR 52,600 See Al.10 526 n/a 0.2 n/a 45,275 See Al.20 1,090 03 0.2 317.4	AREA' AREA' NUMBER OF EGRESS WIDTH REQUIRED WIDTH 9q. ft. PER OCCUPANTS PER OCCUPANT (SECTION 1005.1) OCCUPANT (TABLE 1005.1) (a/b) X c STAIR LEVEL STAIR LEVEL 52,600 See AI.10 526 n/a 0.2 n/a 103.2 45,275 See AI.20 1,090 0.3 0.2 317.4 211.6	AREA' AREA' NUMBER OF EGRESS WIDTH REQUIRED WIDTH ACTUAL Sq. ft. PER OCCUPANTS PER OCCUPANT (SECTION 1005.1) SHOWN COUPANT (TABLE 1005.1) (a/b) X c STAIR LEVEL STAIR LEVEL STAIR 103.2 n/a 45,275 See Al.20 1,090 03 0.2 317.4 211.6 396.0	

OCCUPANT LOAD AND EXIT WIDTH

See Table 1004.1.1 to determine whether net or gross area is applicable.

² Minimum stairway width (Section 1009.1); min. corridor width (Section 1018.2); min. door width (Section 1008.1.1) ³ Minimum width of exit passageway (Section 1023.2)

The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1) ⁵ Assembly occupancies (Section 1028)

ASSEMBLY OCCUPANCY INFORMATION THIS SECTION MUST BE COMPLETED TO IDENTIFY THE OCCUPANCY CAPACITY FOR ALL PROJECTS

526 See A I.IO for First Floor Occupancy Information First Floor Second Floor 1,090 See Al.20 for Second Floor Occupancy Information Total

		<u>PLU</u>	MBING FIX	TURE RE	QUIREMEI	NTS			
		TH	IS SECTION REC	QUIRED FOR ,	ALL PROJEC	TS .			
Occupancy	WATERO	LOSETS URINALS LAVATORIES			FAMILY/	SHOWERS/	DRINKING	FOUNTAINS	
	MALE	FEMALE		MALE	FEMALE	UNISEX TOILETS	TUBS	REGULAR	ACCESSIBLE
First Floor	5	9	4	7	7	1/4	2	3	2
Second Floor	6	10	7	6	6	3/3	2	3	3
Total Required	3	3	3	2	2	3/0	n/a	3	3
Total Provided	11	Id	1 11	12	12	1/7	2	6	5

Structural Design Loads (See Structural Drawings)

		<u>ACCES</u>	SIBLE PARKING		
LOT OR PARKING	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED		TOTAL #
AREA	REQUIRED	PROVIDED	REGULAR WITH 5'	VAN SPACE WITH 8'	ACCESSIBLE
			ACCESS AISLE	ACCESS AISLE	PROVIDED
LONG TERM	Existing to Remain				
SHORT TERM					
TOTAL					

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below) Local Jurisdiction

2018 NORTH CAROLINA ENERGY CONSERVATION CODE COMMERCIAL ENERGY EFFICIENCY - BUILDING SUMMAR'

□ NC SPECIFIC COMCHECK PROVIDED 501.1 METHOD OF COMPLIANCE 2018 NCECC CHAPTER 5 20% IMPROVEMENT OVER ASHRAE 901,-2007 501.2 APPLICATION COMPLIANCE

☐ 506.2.1 EFFICIENT MECH EQUIPMENT ☐ 506.2.4 HI EFFICIENCY DOMESTIC HW ☐ 506.2.2 REDUCED LTG DENSITY ☐ 506.2.5 ONSITE RENEWABLE ENERGY ☐ 506.2.3 ENERGY RECOVERY SYSTEMS ☐ 506.2.6 DAYLIGHT CONTROLS

301.1 CLIMATE ZONE 3A CUMBERLAND COUNTY, NORTH CAROLINA DESIGN CONDITIONS EXTERIOR (ASHRAE 90.1 - 2007 TABLE D-I) winter dry bulb summer dry bulb 91° F. 74° F. summer wet bulb INTERIOR (2012 NCECC SECTION 302.1) 72° F.

VERTICAL GLAZING / WALL AREA %: 15%

winter dry bulb

summer dry bulb

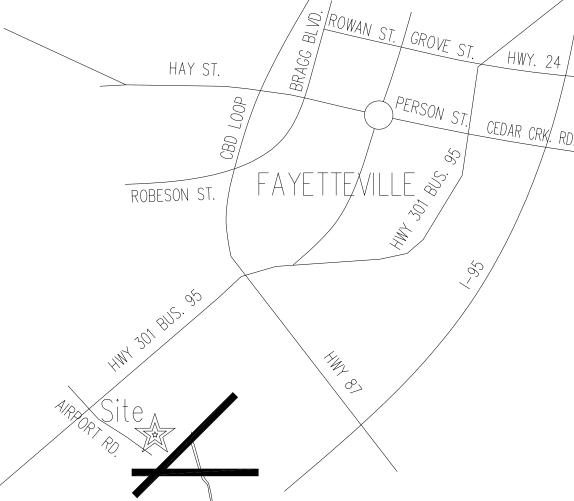
502.1 BUILDING ENVELOPE REQUIREMENTS BUILDING TYPE FOR ENVELOPE REQUIREMENTS: Steel Frame

75° F.

SKYLIGHT GLAZING / ROOF AREA%: 0.1% ACTIVITY TYPE(S) FLOOR AREA 502.2 OPAQUE INSULATION REQUIREMENTS GROSS AREA CAVITY CONT. PROPOSED OR PERIMETER R-VALUE R-VALUE

FLOOR EXTERIOR WALL <u> WINDOW(S) WALL</u> STOREFRONT WINDOW DOOR(S) WALL SLAB (UNHEATED) SLAB (HEATED) WALL(S) BELOW GRADE SKYLIGHT

SIGNED: NAME: <u>Gordon E. Johnson</u> TITLE: Architect



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Improvement

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Drawina Sheet Index

FAYETTEVILLE, NC

VICINITY MAP

TSI Building Code Information DI.IO First Floor Demolition Plan DI.20 Second Floor Demolition Plan D2.10 Demolition Elevations

D3.10 Demolition Sections Al.10 Overall First Floor Plan, Concourse B Enlarged First Floor Plan, Notes, Wall Schedule, & Abbreviations Al.11 Airline Office Renovation Enlarged Plans, Interior & Exterior Elevations, & Casework Details

Al.20 Overall Second Floor Plan Al.21 Concourse B Addition & VIP Lounge Renov. Enlarged Plans, Elevations & Sections Al.30 Roof Plan

Al.31 Roof Details

Al.40 Room Finish & Door Schedules, Door & Frame Elevations, & Finish Legend A3.01 Airline Office Building Sections A3.02 Concourse B Addition Sections

50.01 Structural General Notes & Schedules 50.02 Schedule of Structural Special Inspections SI.00 Partial Foundation Plan - Concourse B

52.00 Partial Level 2 Floor Framing Plan - Concourse B 53.00 Partial Roof Framing Plan - Concourse B

S4.00 Foundation Sections & Details

55.00 Floor Sections S6.00 Roof Sections

FPI.01 Fire Protection Legend, Symbols & Abbreviations FPI.10 First Floor Overall Plan

FPI.20 Second Floor Overall Plan FP4.II First Floor Fire Protection Enlarged Plans FP4.21 Second Floor Fire Protection Enlarged Plans

FP5.01 Fire Protection Details PO.01 Plumbing Legend, Symbols & Abbreviations PI.10 First Floor Óverall Plan

P4.11 First Floor Enlarged Plumbing Plans

P4.21 Concourse B Waste & Vent Énlarged Plans P4.22 Concourse B Domestic Water Enlarged Plans P5.01 Plumbing Details

P7.01 Plumbiną Schedules MO.01 Mechanical Legend, Symbols & Abbreviations

MI.10 First Floor Ovérall Plan MI.20 Second Floor Overall Plan M4.11 First Floor Mechanical Enlarged Plans M4.12 First Floor Mechanical Enlarged Plans

M4.21 Second Floor Mechanical Enlarged Plans M5.01 Mechanical Details M5.02 Mechanical Details

M5.03 Mechanical Details M6.01 Mechanical AHU Schematic Diagram M7.01 Mechanical Schedules

EO.01 Electrical Legend & Abbreviations El.10 First Floor Overall Plan

El.20 Second Floor Overall Plan El.30 Overall Roof Plan

E4.11 Main Terminal First Floor Electrical Enlarged Plans E4.12 Main Terminal First Floor Electrical Enlarged Plans

E4.13 Concourse B First Floor Electrical Enlarged Plans E4.21 Concourse B Second Floor Electrical Enlarged Plans E4.22 Concourse B Second Floor Electrical Enlarged Plans

E4.23 Main Terminal Partial Roof Electrical Plans E5.01 Electrical Details

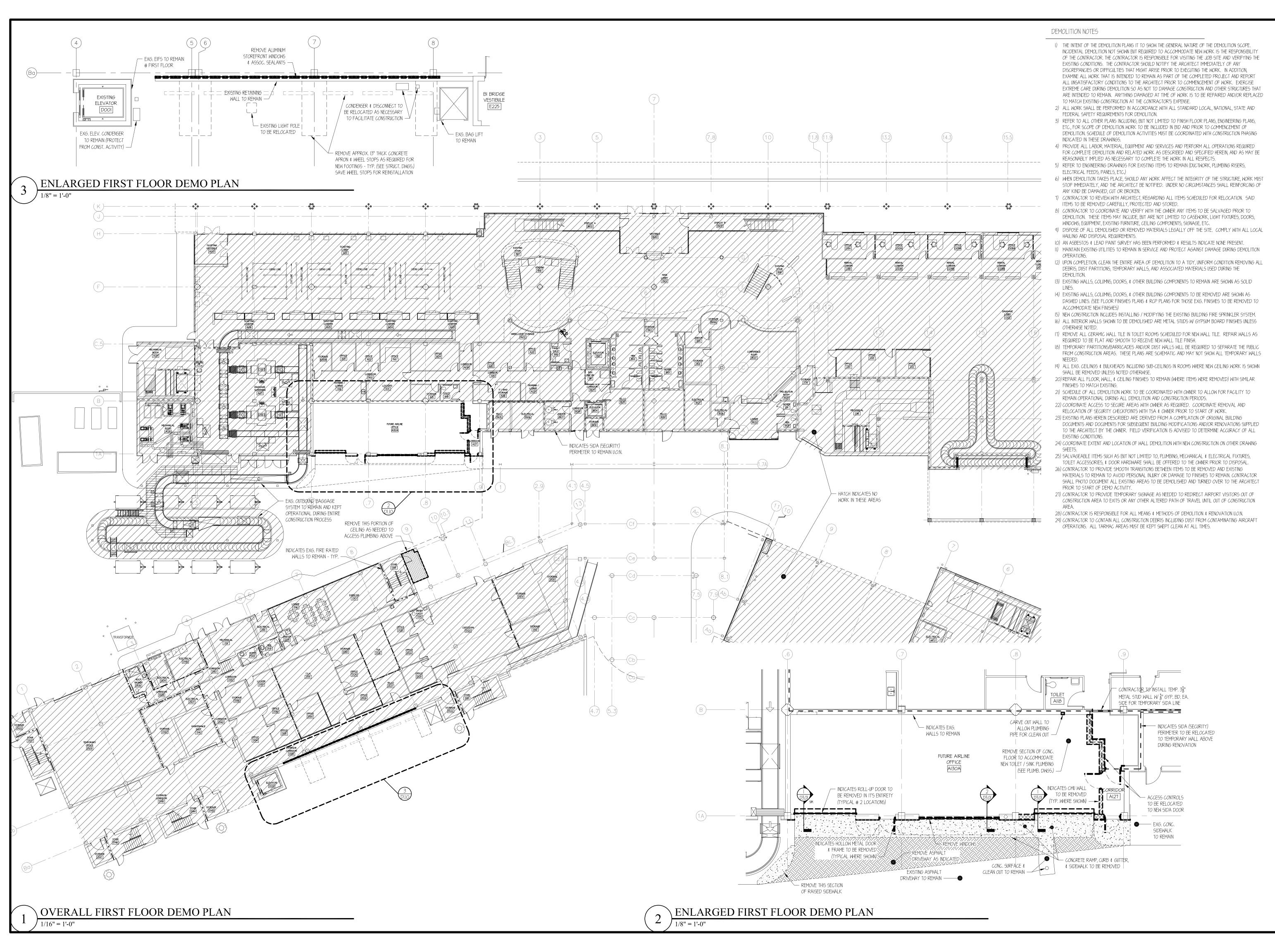
E6.01 Partial Riser Diagrams E7.01 Electrical Panel Śchedules E7.02 Electrical Panel Schedules

Regional <u>\interpretation</u> -ayettev

> DRAWN BY: ___JD Pike__ REVIEWED BY: G. Johnson DATE: _____7-31-23 PROJECT NO.: 2207 NOTES: _____

> > REVISIONS







Architecture 654 Hay Street, Suite

Fayetteville, NC 2830 gordonjohnsonarchitecture.com © Copyright 2023 Gordon É. Johnson, Al.

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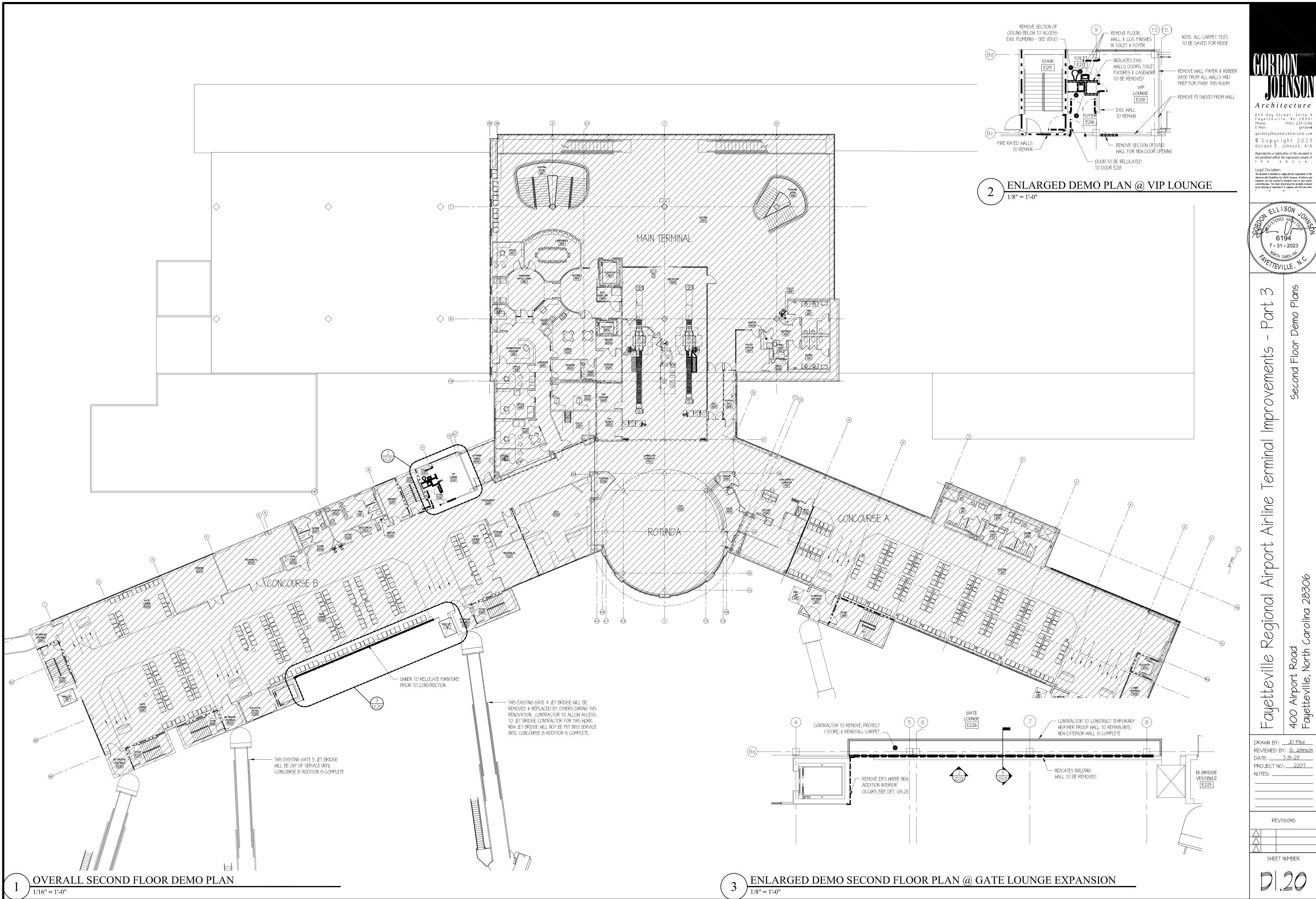
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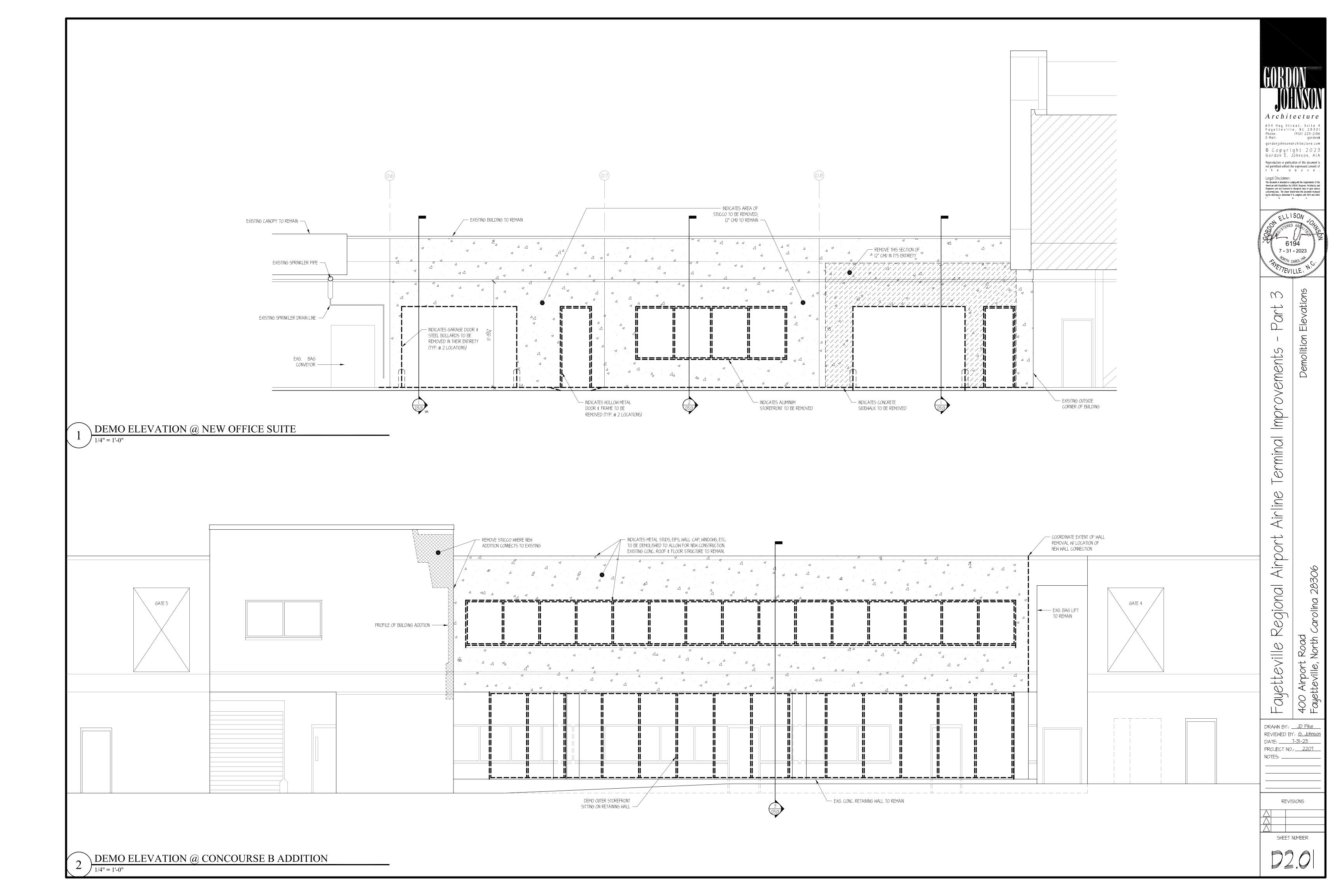
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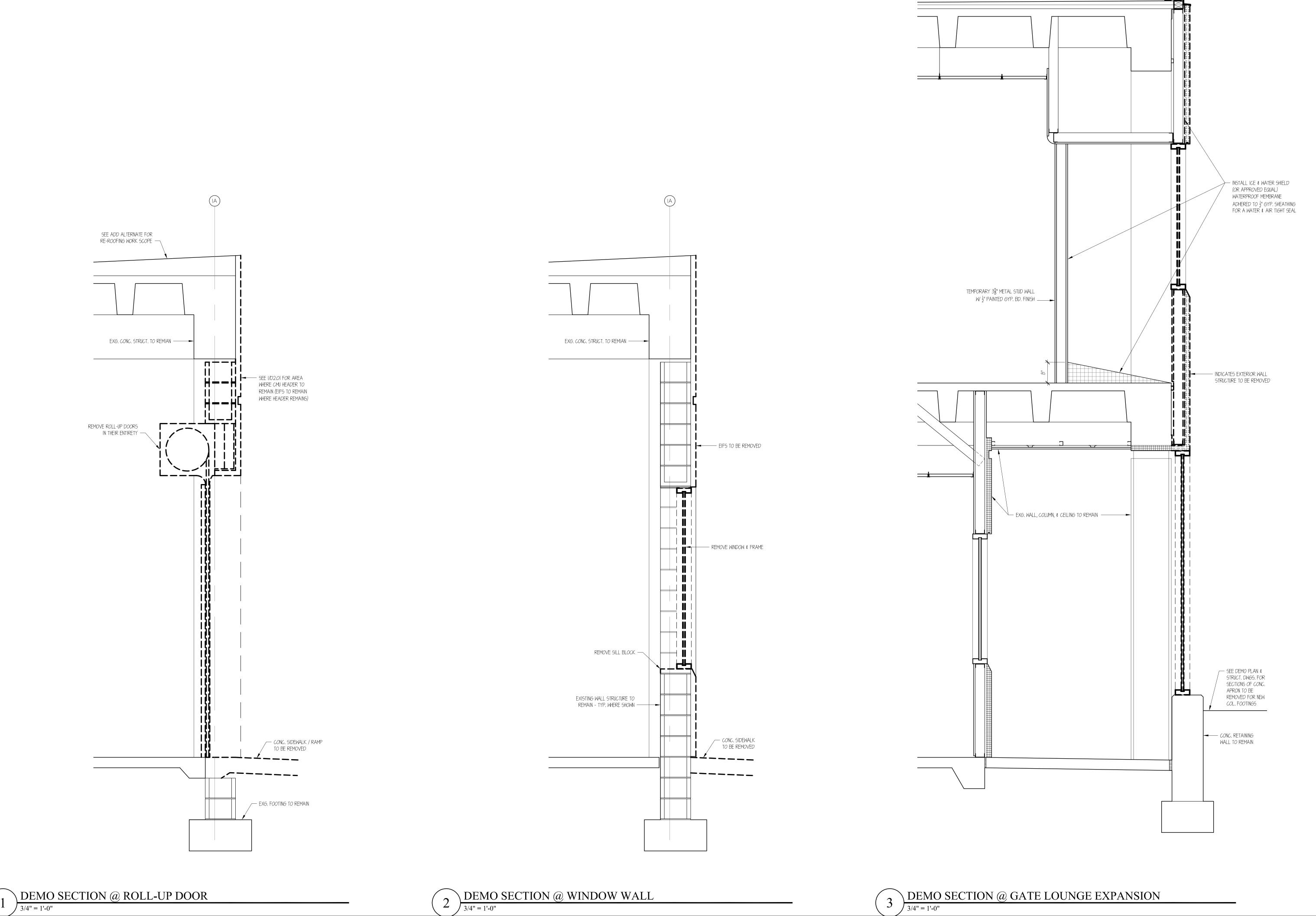
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Fayetteville

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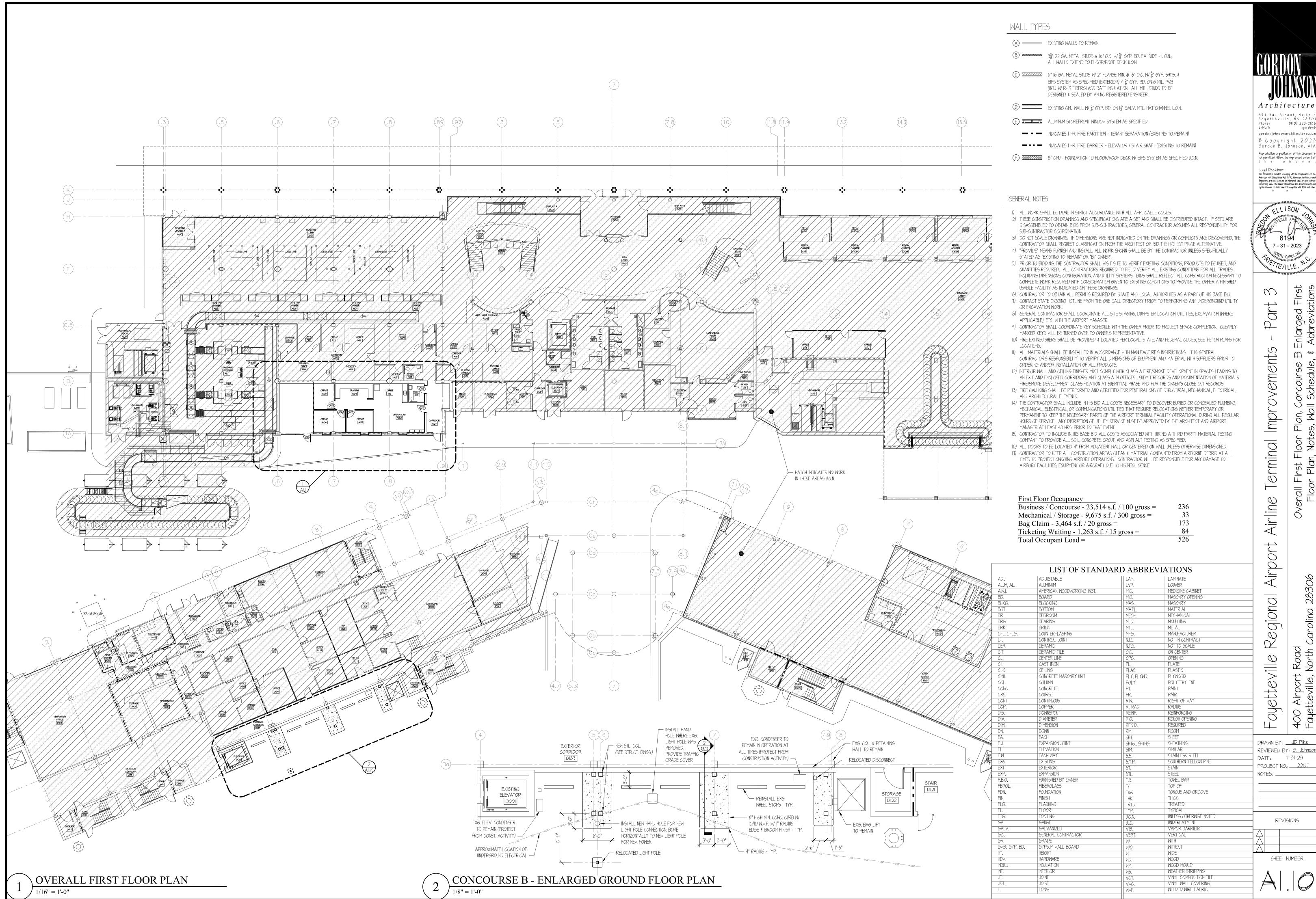
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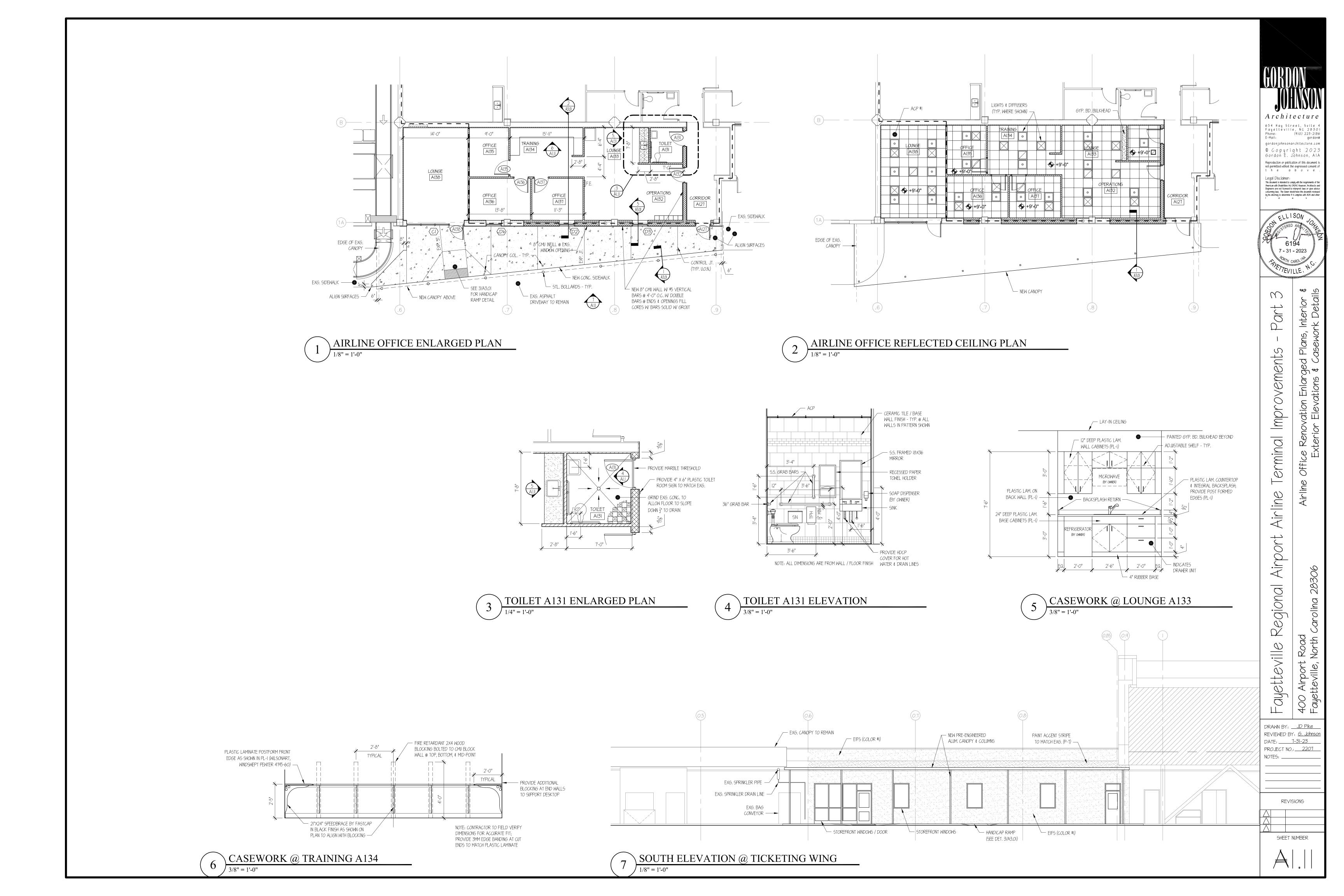
Improvements minal Airline Airport Regional Fayetteville

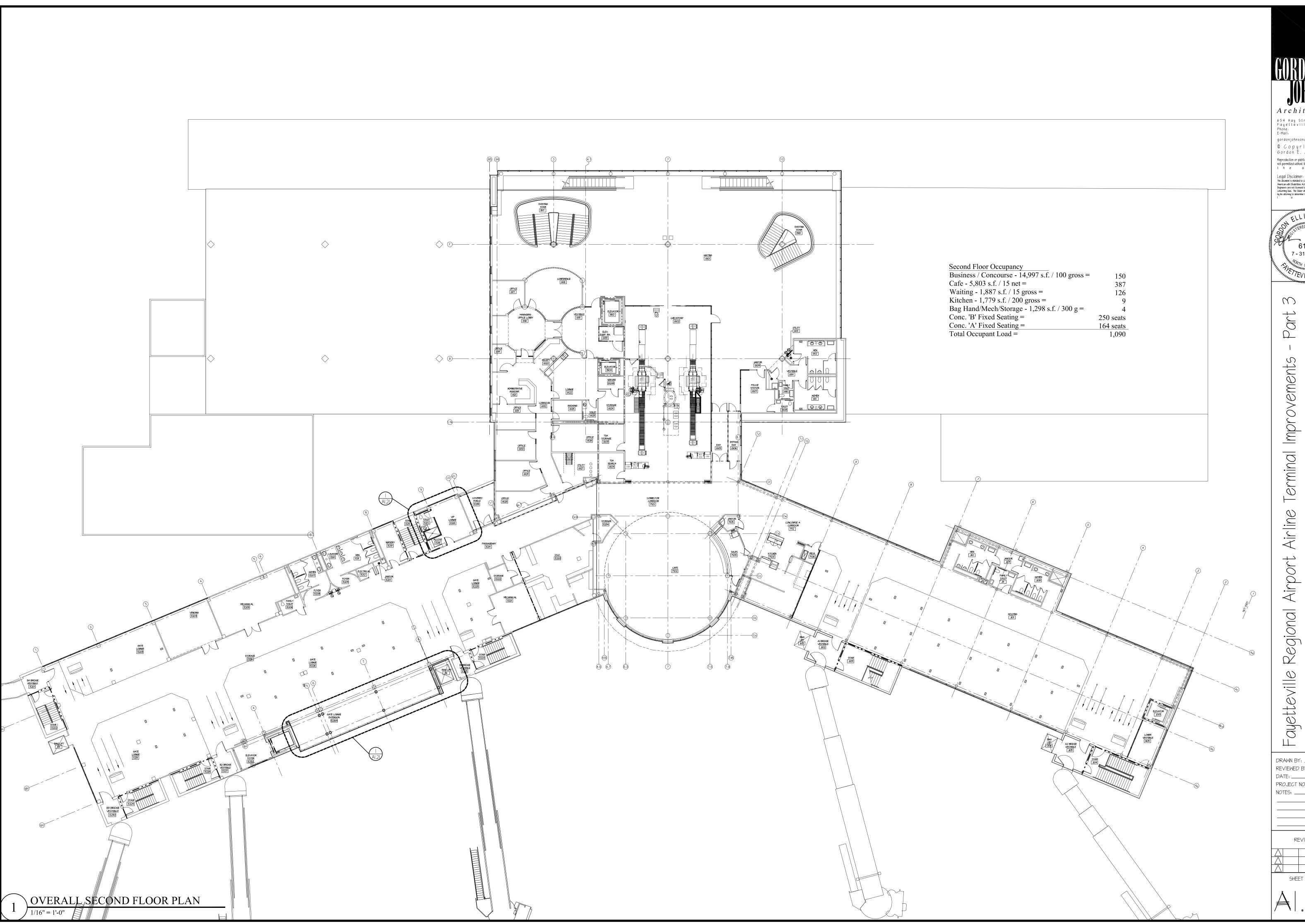
REVIEWED BY: <u>G. Johnson</u> DATE: <u>7-31-23</u> PROJECT NO.: 2207 NOTES: ____

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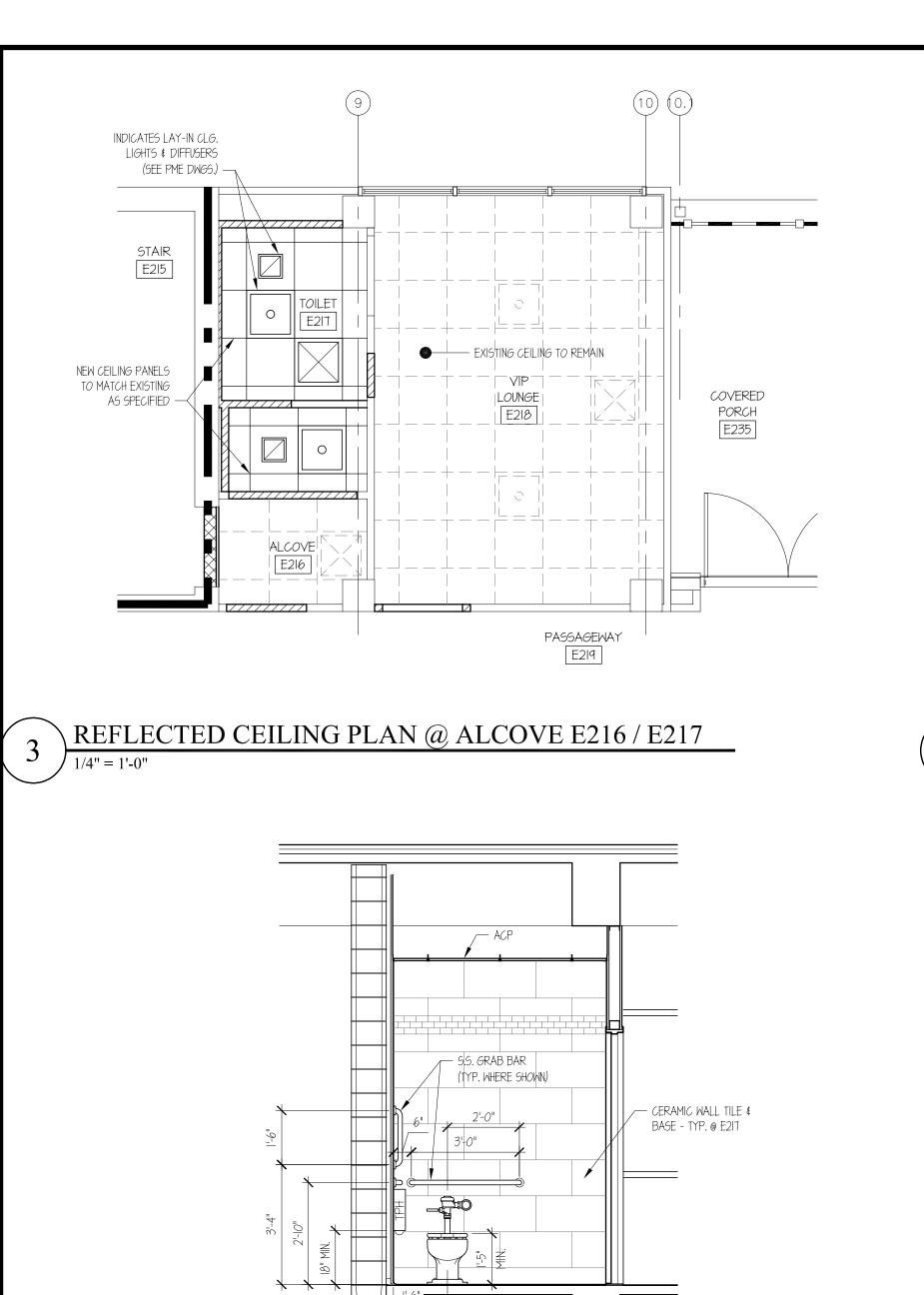
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Improvements minal

DRAWN BY: <u>JD Pike</u>

REVIEWED BY: <u>G. Johnson</u>

DATE: <u>7-31-23</u> PROJECT NO.: 2207



/- EXG. CEILING TO REMAIN

- REPAIR CEILING AS REQUIRED W/ 🐉 GYP. SHTG. ON EXG. 3_4 " CHANNELS W R-19 BATT INSULATION FINISH TO MATCH EXISTING CEILING

- PRE-FINISHED MTL. COPING TO MATCH EXG. COLOR & HEIGHT

OF ELEVATOR ADDITION

EIFS (COLOR #I)

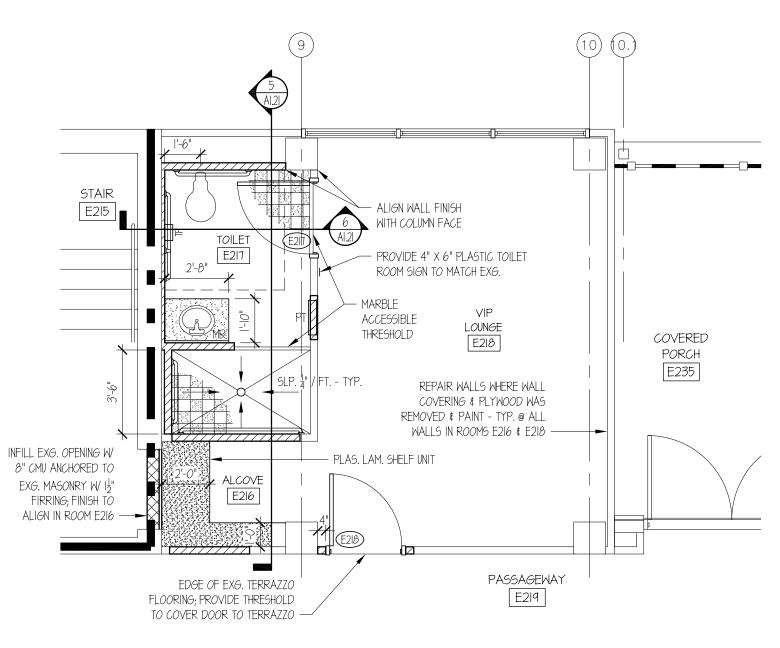
— EIFS (COLOR #2)

STOREFRONT WINDOWS

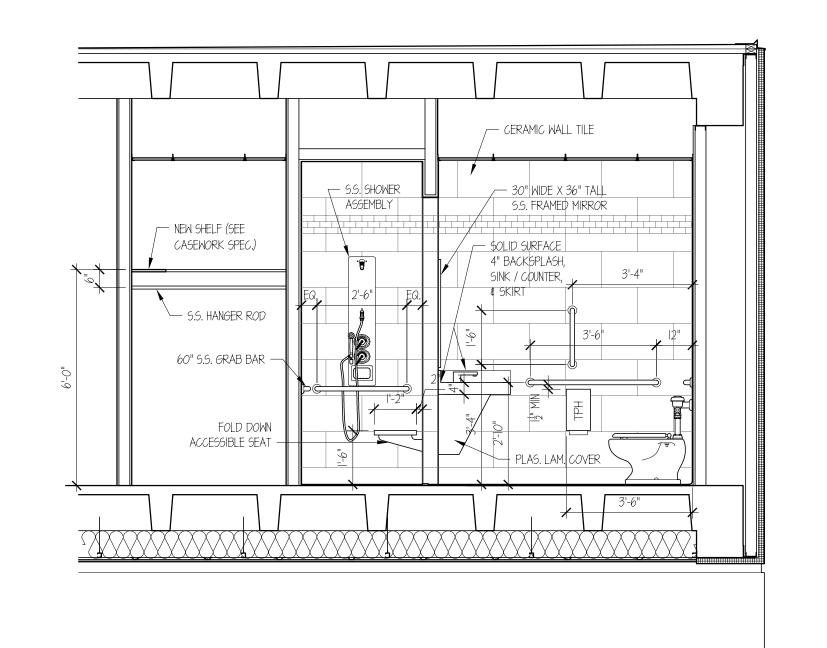
EIFS (MATCH COLOR OF EXG. ACCENT STRIPE)

— EXG. BLDG. WALL IN FOREGROUND

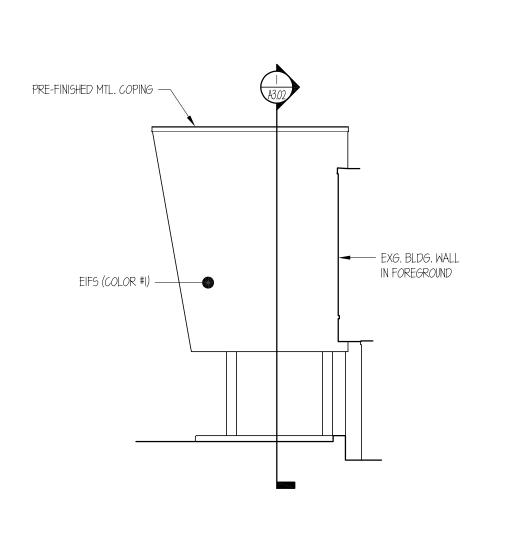
● / EIFS (COLOR #1)



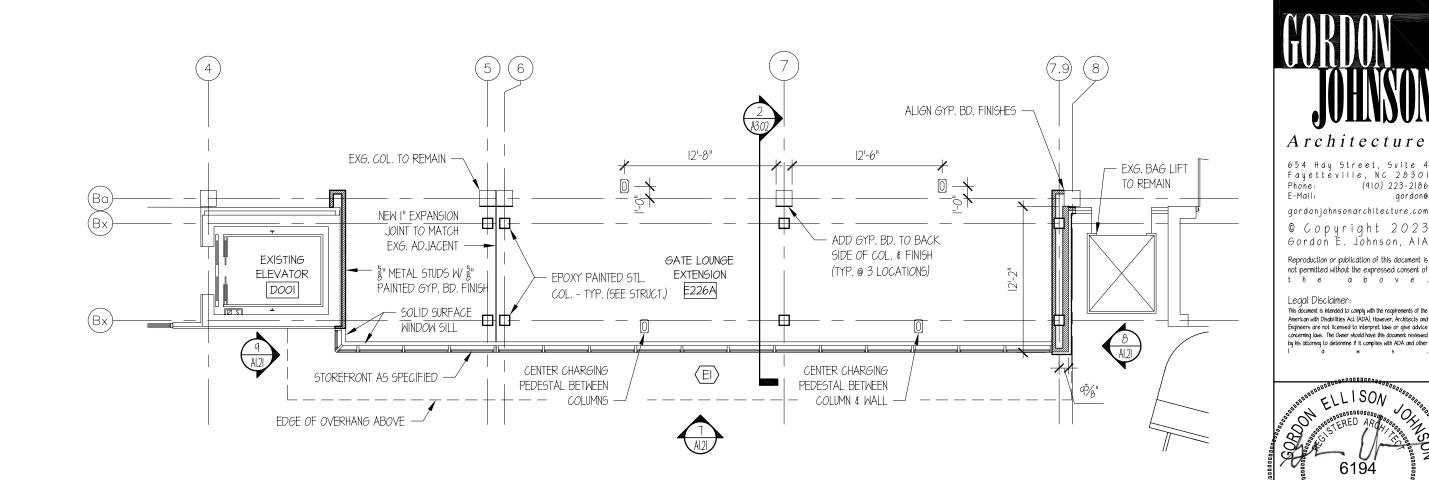




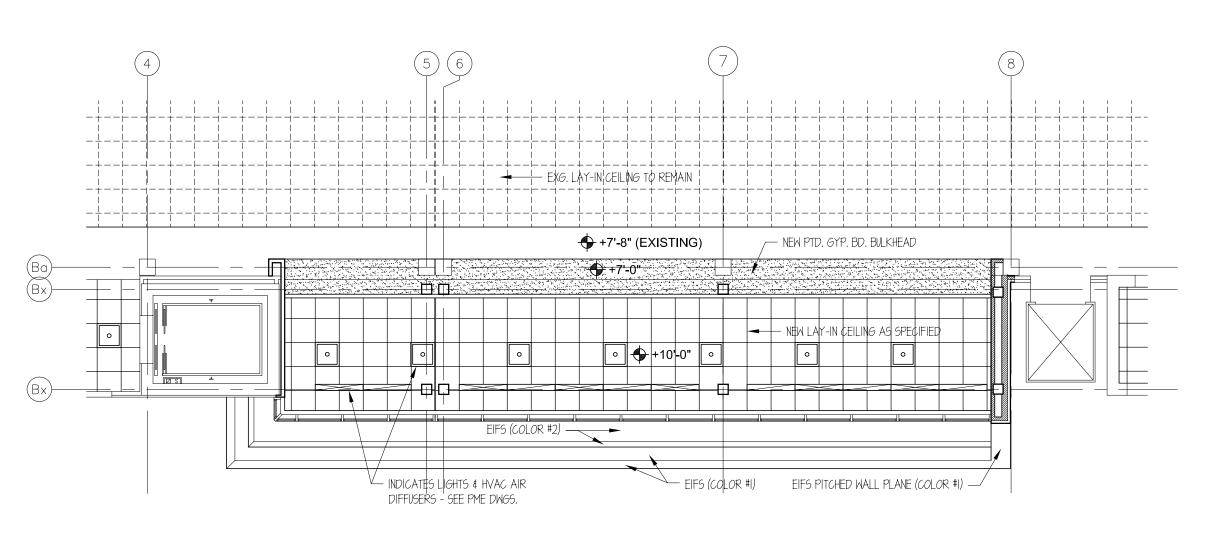
SECTION / INTERIOR ELEV. ALCOVE E216 / TOILET E217 3/8" = 1'-0"



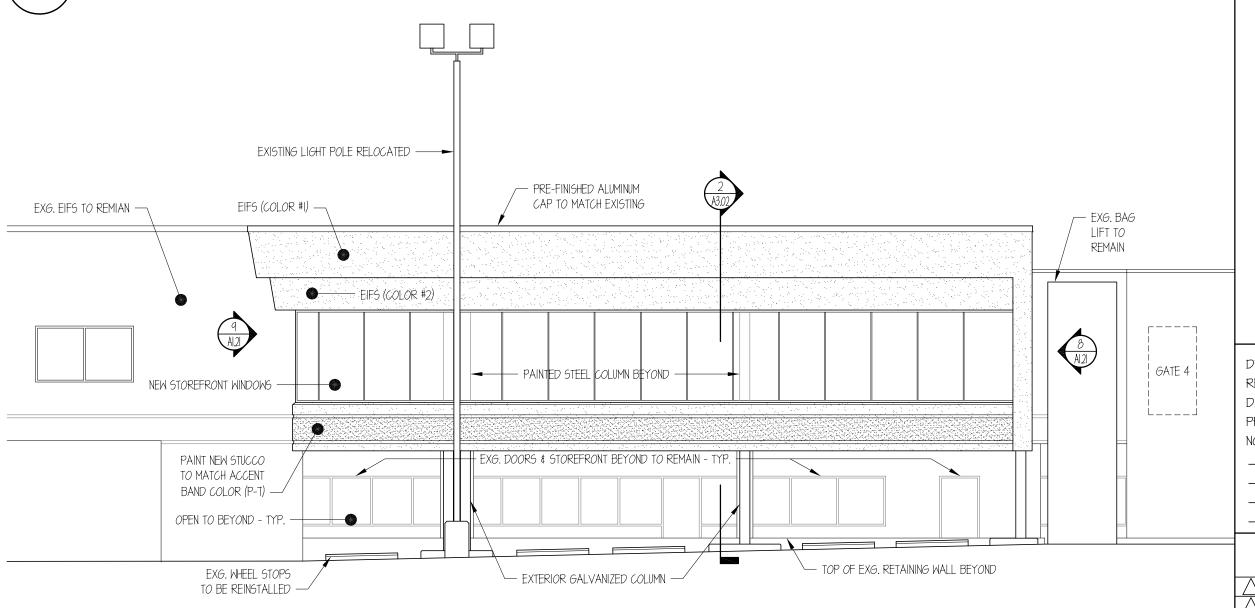
EAST ELEVATION @ CONCOURSE B ADDITION 1/8" = 1'-0"











SOUTH ELEVATION @ CONCOURSE B ADDITION 1/8" = 1'-0"

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Fayetteville

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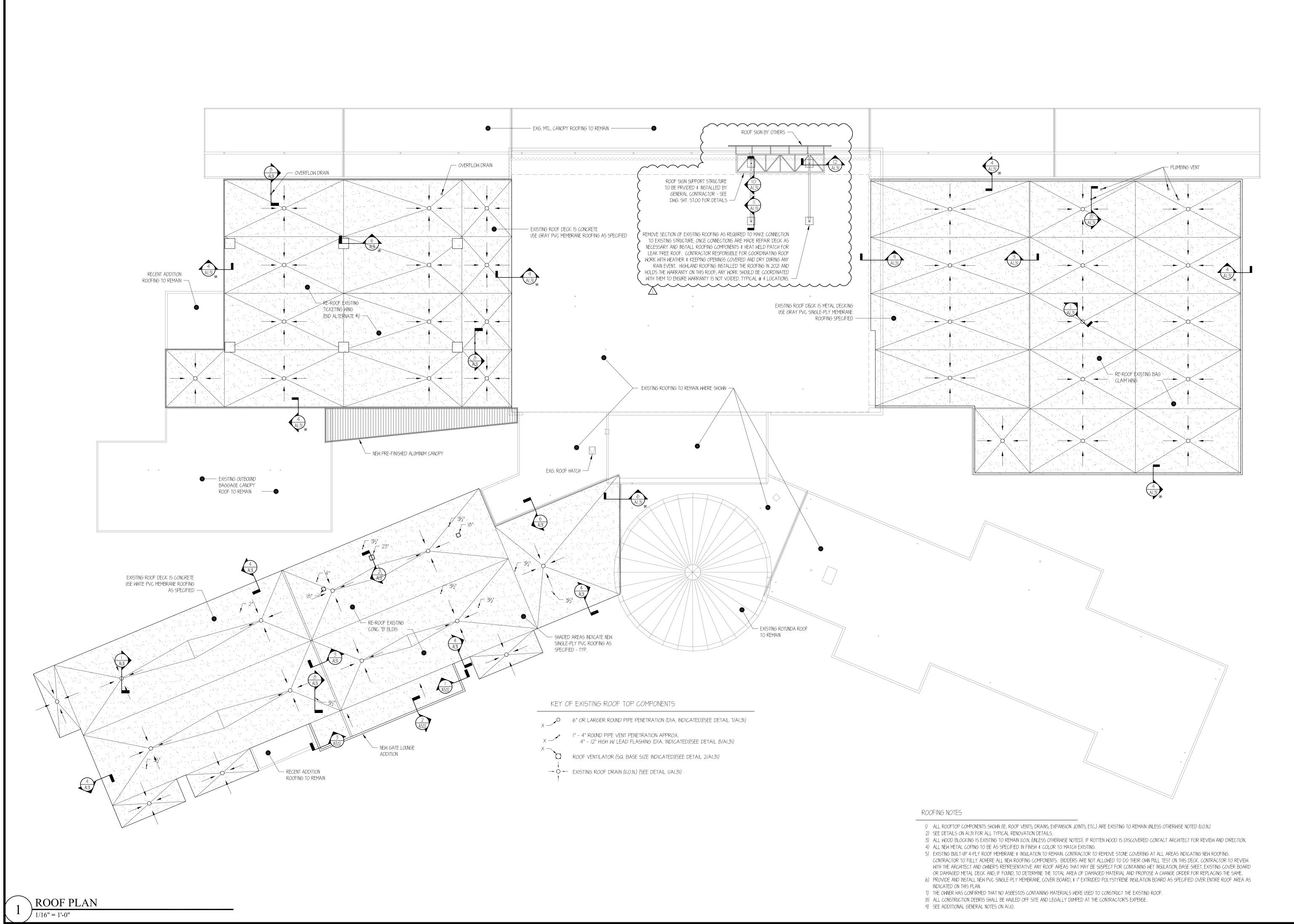
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WEST ELEVATION @ CONCOURSE B ADDITION 1/8" = 1'-0"

SECTION / INTERIOR ELEV. @ TOILET E217

 $6 \quad) 3/8" = 1'-0"$



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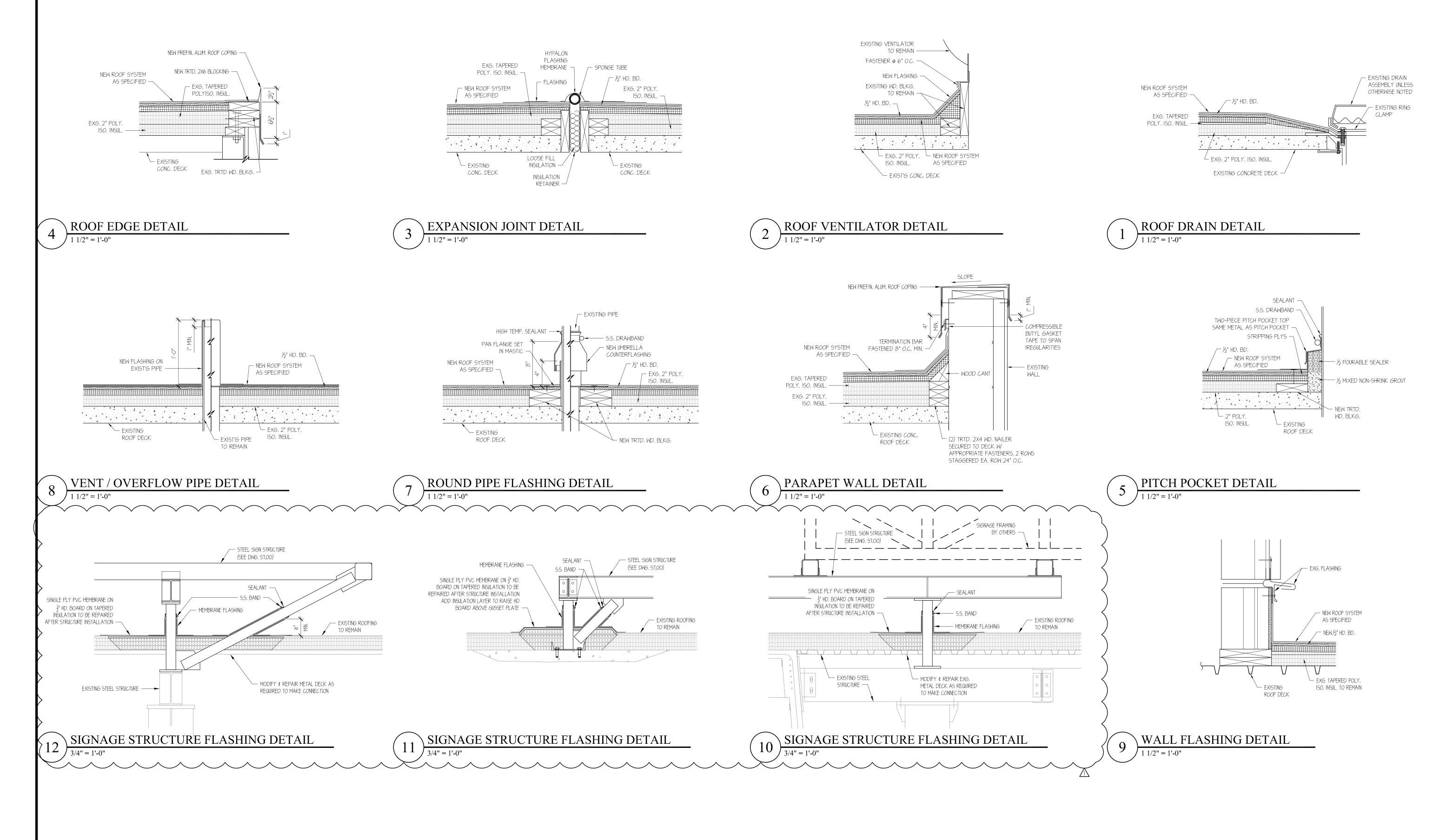
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Fayetteville REVIEWED BY: <u>G. Johnson</u> DATE: _____7-31-23 PROJECT NO.: 2207

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8-17-23 ADDED ROOF SIGN STRUCTUR





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Fayetteville Regional Airport Airline 7

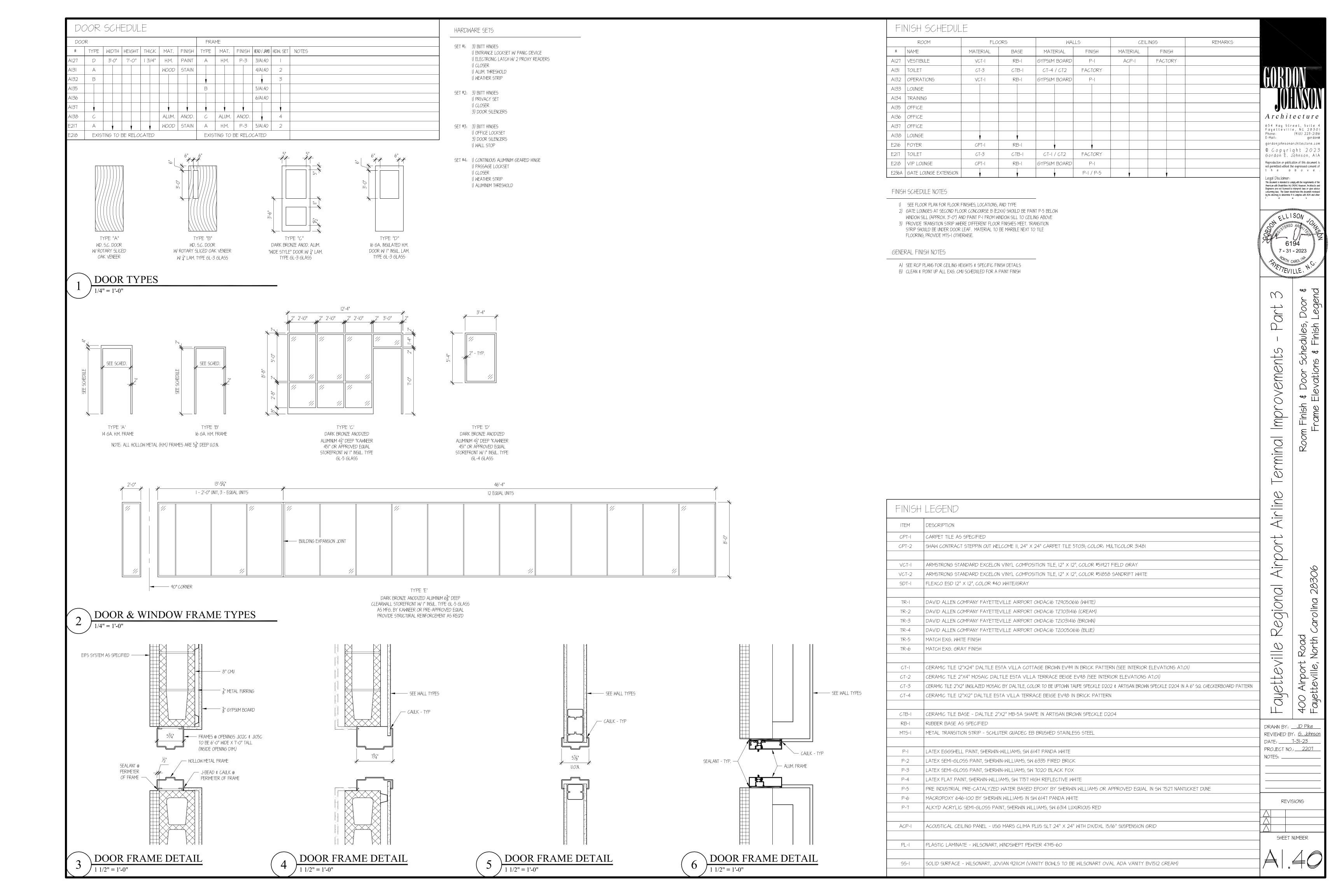
DRAWN BY: JD Pike
REVIEWED BY: 6. Johnson
DATE: 7-31-23
PROJECT NO.: 2207
NOTES:

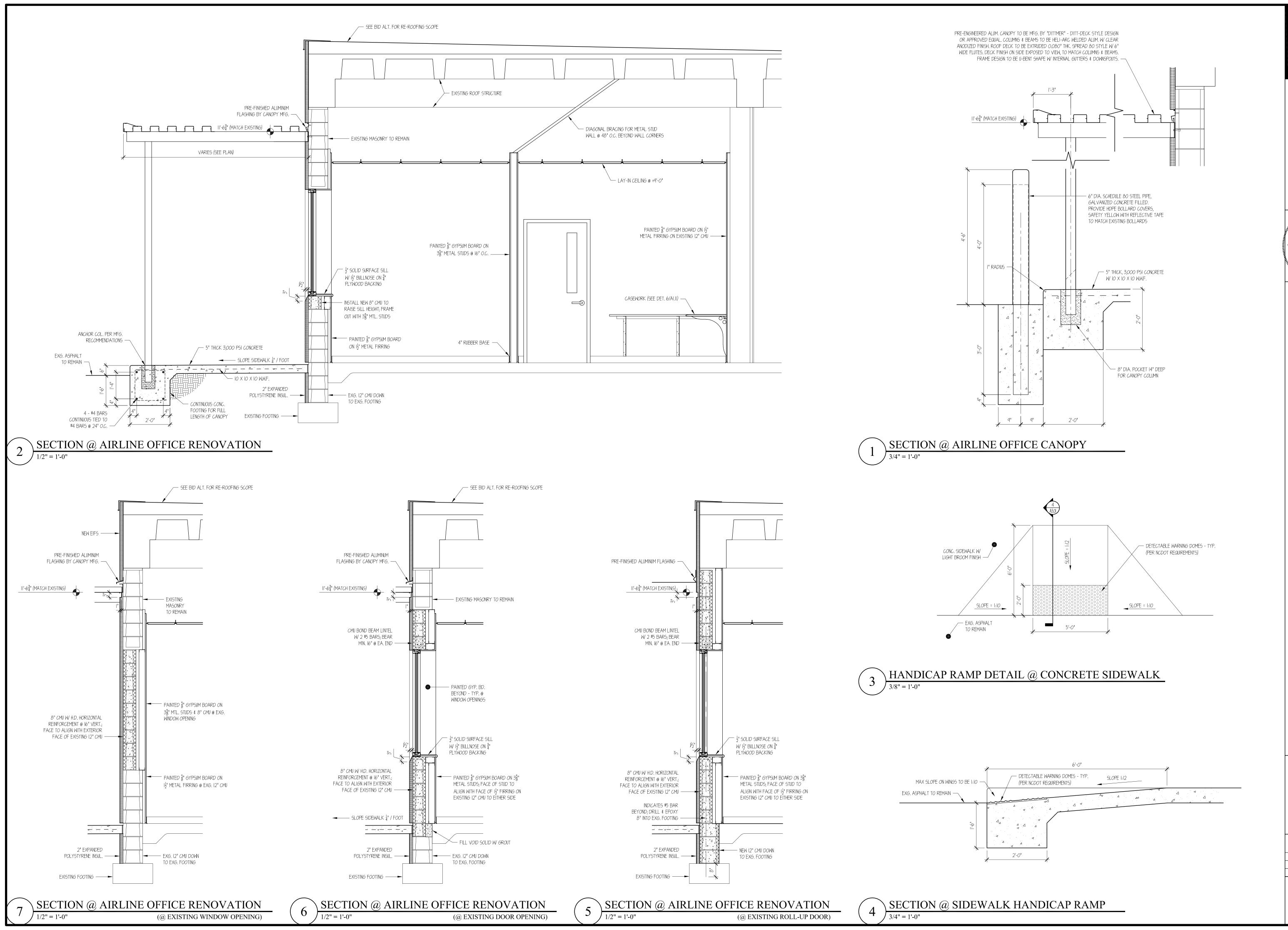
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8-I7-23 ADDED ROOF DETAILS

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PORTH CAROL Minor C

Improvements - Part Airline Office Building Sectiv

le Regional Airport Airline Terminal

Fayetteville Rec 400 Airport Road Fayetteville, North Carc

DRAWN BY: __JD Pike REVIEWED BY: <u>G. Johnson</u> DATE: ___7-31-23 PROJECT NO.: __2207 NOTES: ____

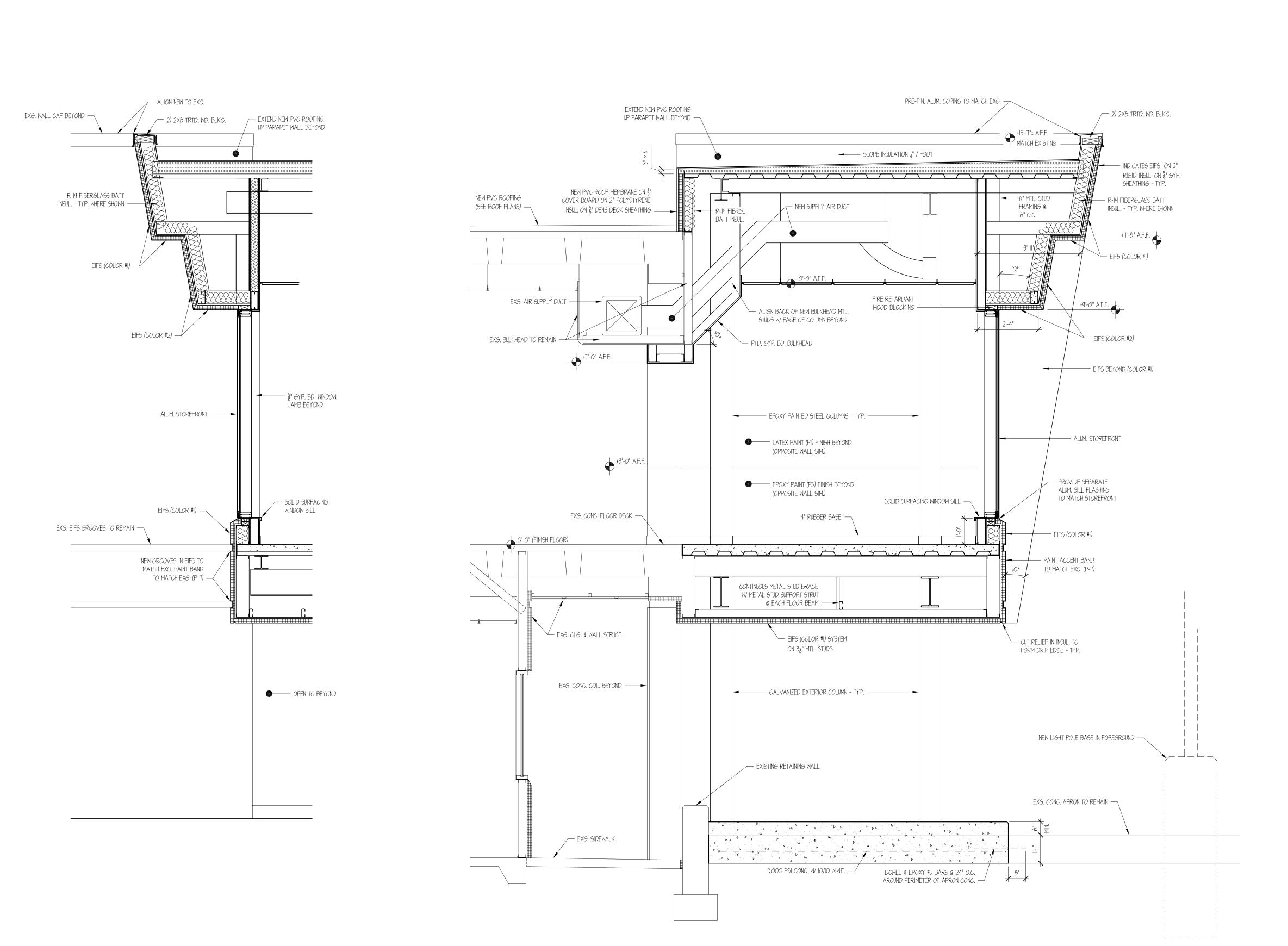
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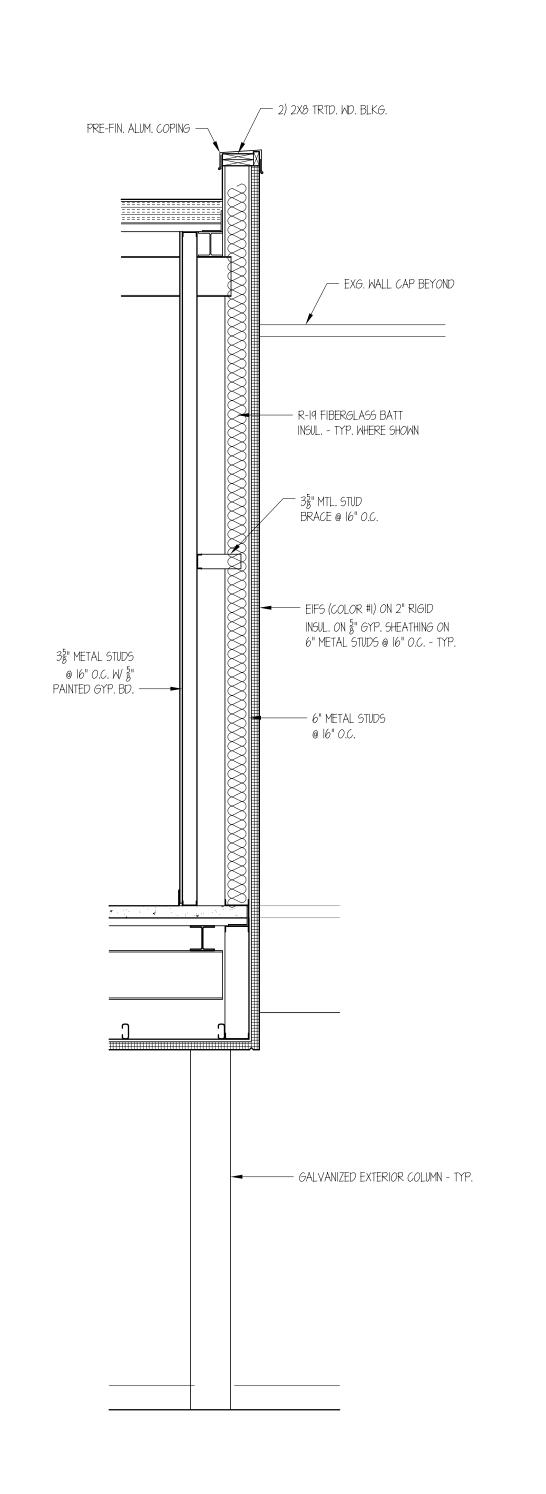
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SECTION @ WEST GATE LOUNGE EXPANSION

1/2" = 1'-0"

2 SECTION @ SOUTH GATE LOUNGE EXPANSION

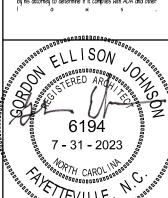
1/2" = 1'-0"

 $\underbrace{1}_{1/2" = 1'-0"} \underline{SECTION @ EAST GATE LOUNGE EXPANSION}$

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