

5551 Fisher Road
Fayetteville, North Carolina 28304
Owner: Cumberland County Schools

Occupancy Information:
Primary Occupancy - Educational

Building Area:
Main Building Ground Floor: 142,253 s.f.
Main Building area of Re-Roofing Construction: 53,745 s.f.
Energy Building area of Re-Roofing Construction: 4,320 s.f.

Fire Protection Requirements:
Roof / Ceiling assembly is unrated

2018 North Carolina Energy Conservation Code:
Not Applicable: Roof Membrane Overlay Only

Structural Design Loads (For Re-roofing Only):
General Notes
1) Design Loads
Risk Category III

Dead Loads:
New Roofing Construction - 15 lbs./s.f.
Existing Roofing / Insulation Construction - 3.0 lbs./s.f.

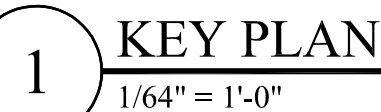
Wind Load:
Ultimate Wind Speed (3-second gust) 130 mph - Flg. 1609.3 (2)
Normal Wind Speed 101 mph (2018 NC Building Code) - Table 1604.3.1
Exposure Category: B

Component 2 Cladding:
All cladding and building components are designed and anchored to resist 110 mph.
Component and cladding uplift wind forces determined according to the 2018 NC
State Building Code for the Exposure Category indicated above including safety
factor are:
Zone 1: 42.30 lb/sf
Zone 2: 71.00 lb/sf
Zone 3: 106.86 lb/sf
Provide all bracing and connections necessary to transfer lateral loads to structure.

2) Follow recommendations of single-ply membrane manufacturer, SPRI, NRCA, SMACNA, and industry standards for attachment of membrane to meet wind loads noted above.



Drawing Sheet Index



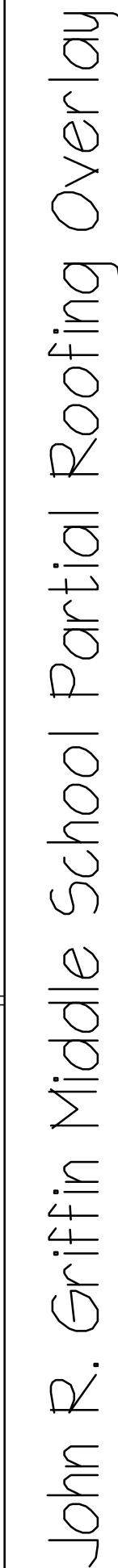
GENERAL NOTES

- 1) ALL ROOFTOP COMPONENTS SHOULD BE EXISTING TO REMAIN UNLESS OTHERWISE NOTED (U.O.N). PROVIDE NEW FLASHINGS AS INDICATED. NO SIGNIFICANT DEMO IS EXPECTED FOR THIS PROJECT. SEE DETAILS FOR ITEMS TO BE REMOVED.
- 2) SEE DETAILS IN THIS DRAWING SET FOR ALL TYPICAL RENOVATION DETAILS.
- 3) ALL WOOD BLOCKING IS EXISTING TO REMAIN U.O.N. (UNLESS OTHERWISE NOTED). IF ROTTEN WOOD IS DISCOVERED CONTACT ARCHITECT FOR REVIEW AND DIRECTION.
- 4) ALL NEW METAL COPING TO BE AS SPECIFIED IN FINISH & COLOR TO MATCH EXISTING.
- 5) EXISTING BUILT-UP ROOF MEMBRANE W/ 3" INSULATION TO REMAIN. CONTRACTOR TO FULLY ADHERE ALL NEW ROOF COMPONENTS. BIDDERS ARE NOT ALLOWED TO DO THEIR OWN RULY TEST ON THIS DECK. CONTRACTOR TO REVIEW WITH THE ARCHITECT AND CSS REPRESENTATIVE ANY ROOF AREAS THAT MAY BE SUSPECT FOR CONTAINING WET INSULATION BASE SHEET, EXISTING COVER BOARD OR DAMAGED ROOF DECK AND; IF FOUND, TO DETERMINE THE TOTAL AREA OF DAMAGED MATERIAL AND PROVIDE A PROPOSAL FOR REPLACING THE SAME.
- 6) PROVIDE AND INSTALL NEW P.V.C SINGLE-PLY MEMBRANE (4 COVER BOARD WHERE INDICATED) AS SPECIFIED OVER ENTIRE ROOF AREA AS INDICATED ON THIS PLAN.
- 7) JIMMERLAND COUNTY SCHOOLS HAS CONFIRMED THAT NO ASBESTOS CONTAINING MATERIALS WERE USED TO CONSTRUCT THE EXISTING ROOF.
- 8) CONTRACTOR SHALL PROVIDE ALL TEMPORARY FACILITIES (LIFT, TOILETS, WATER, FUEL PROTECTION, ETC. DURING ENTIRE COURSE OF CONSTRUCTION. ELEC. (POWER) WILL BE PROVIDED BY THE OWNER.
- 9) ALL CONSTRUCTION DEBRIS SHALL BE HAULED OFF SITE AND LEGALLY DUMPED AT THE CONTRACTOR'S EXPENSE.
- 10) ALL EGRESS DOORS / PATHS TO BE KEPT FREE OF OBSTRUCTION DURING THE WORK. SHOULD A REASON AREAS TO ALTER EGRESS, THE CONTRACTOR WILL CONSULT WITH THE DESIGNER AND LOCAL A.H.J / FIRE MARSHAL TO DEVELOP AN ACCEPTABLE SOLUTION.
- 11) CONTRACTOR IS RESPONSIBLE FOR COST OF ALL CONSTRUCTION PERMITS & PLAN REVIEWS OF THE SAME.
- 12) D.S. INDICATES EXISTING DOWNSPOUT TO REMAIN - TYP. WHERE SHOWN U.O.N.

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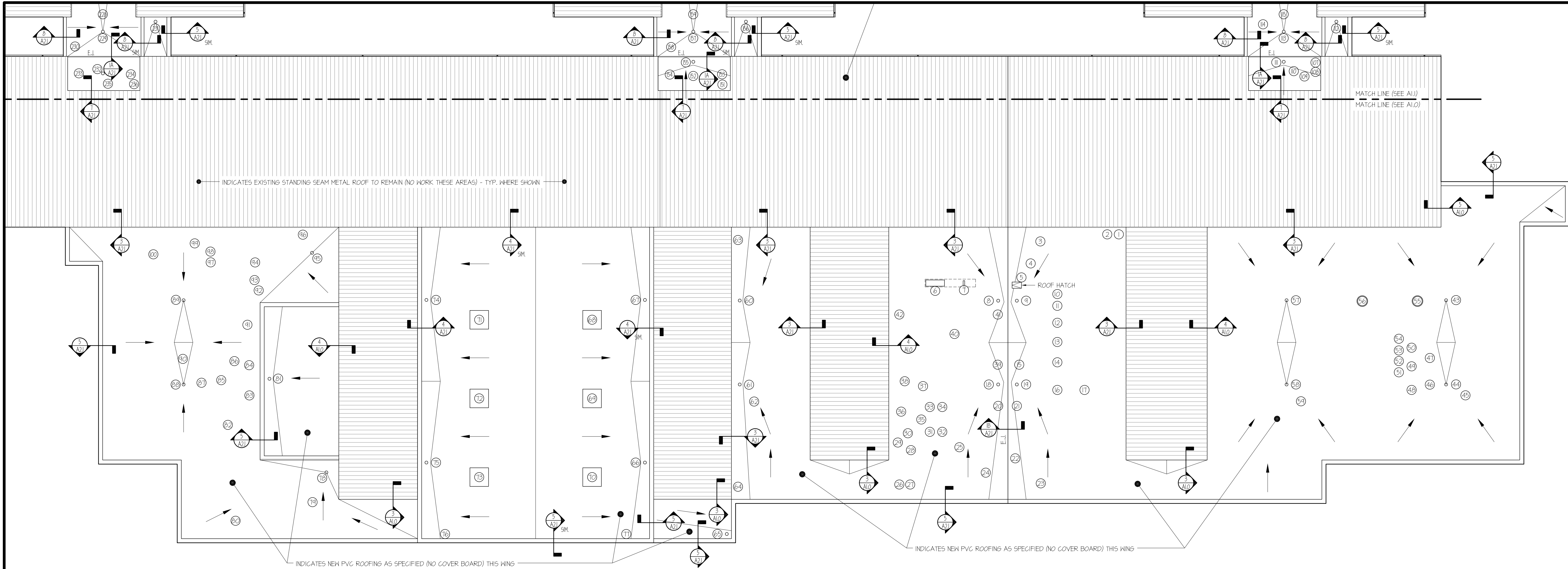
John R. Gr
5551 Fisher Road
Fayetteville, North

DRAWN BY: JD Pike
REVIEWED BY: G. Johnson
DATE: 10-15-24
PROJECT NO.: 2406
NOTES: _____

REVISIONS		
		
		
		

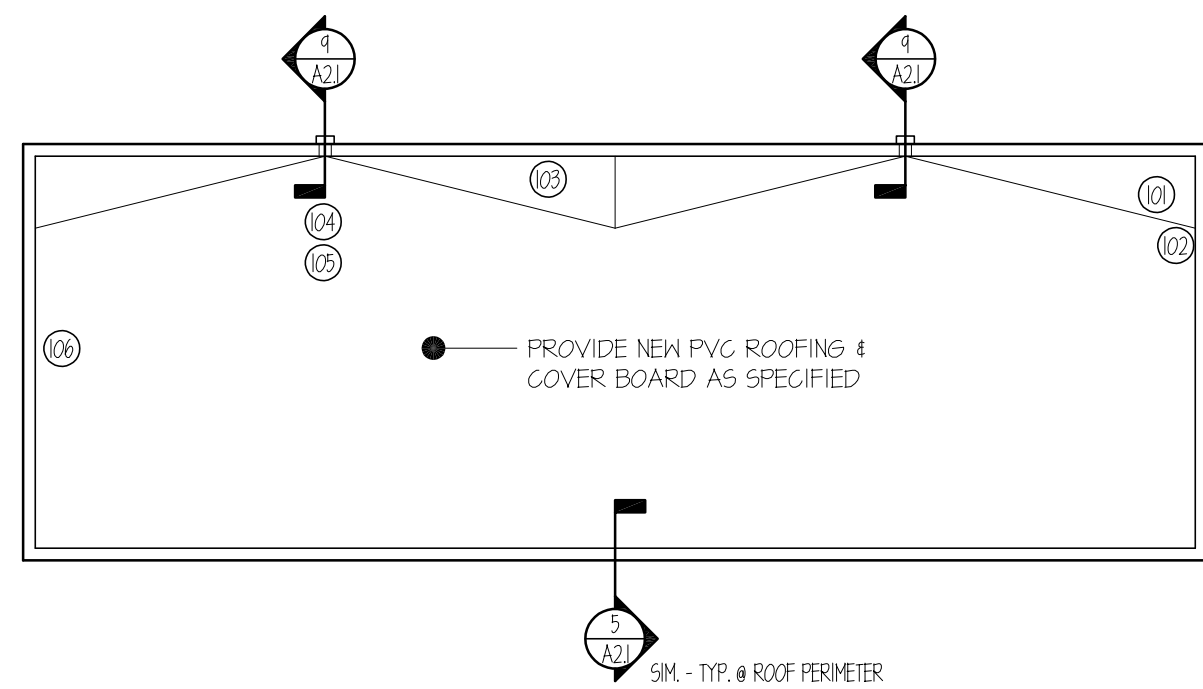
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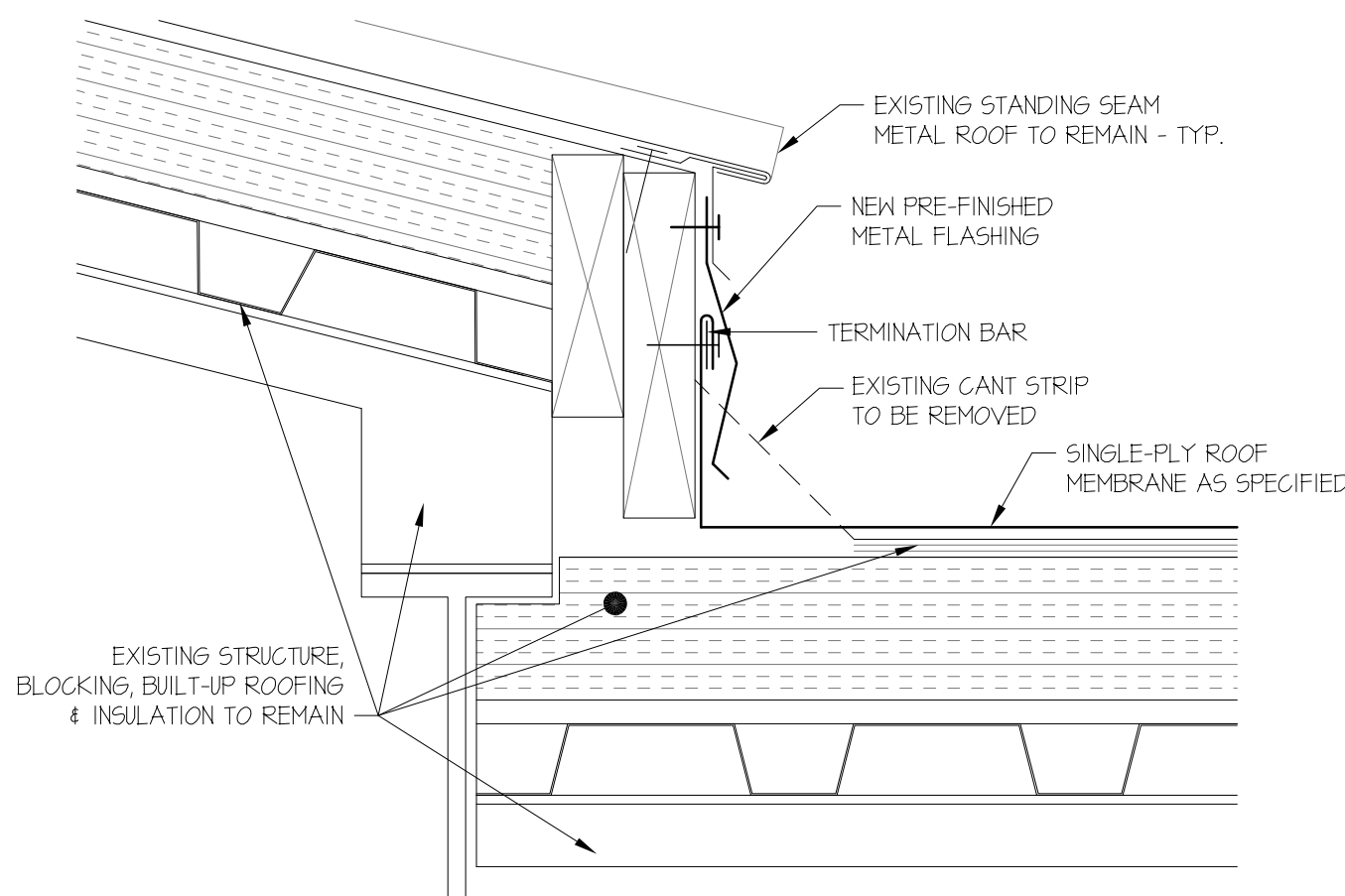
1 ROOF PLAN

1/16" = 1'-0" (ADMINISTRATION BUILDING)



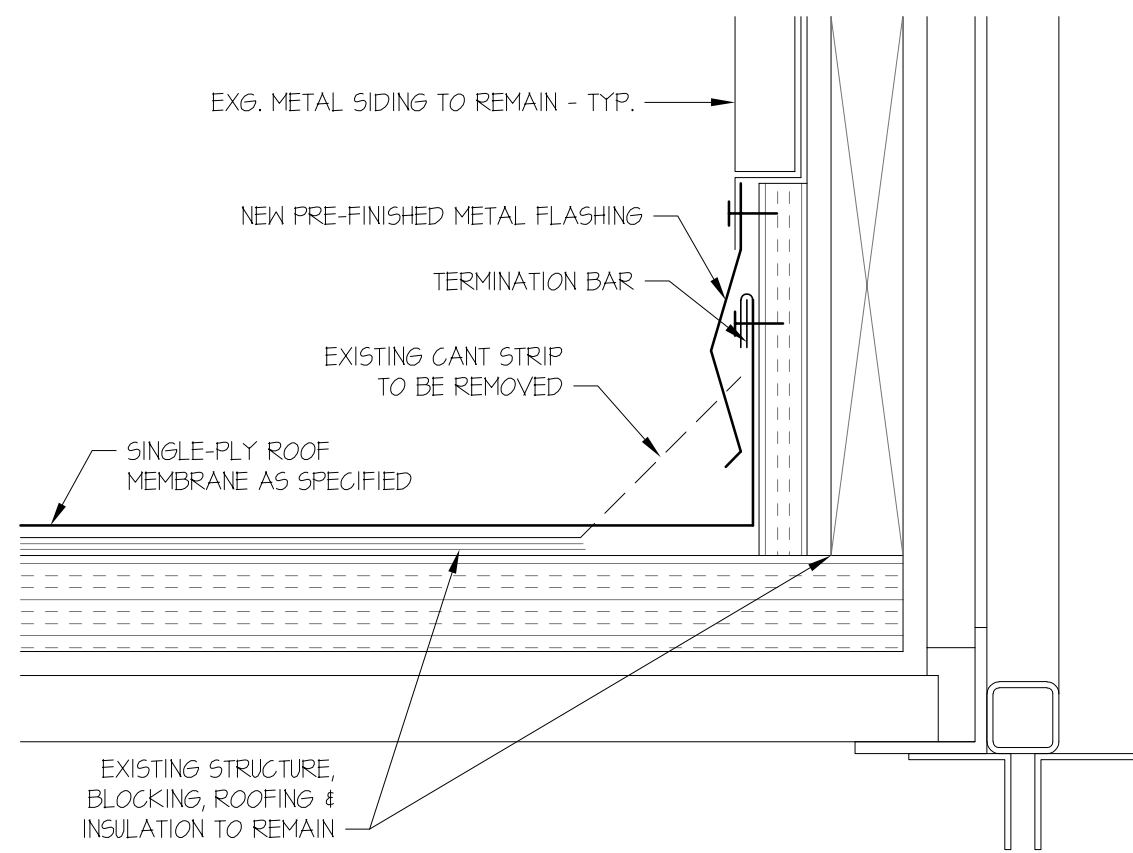
2 ROOF PLAN

1/16" = 1'-0" (ENERGY BUILDING)



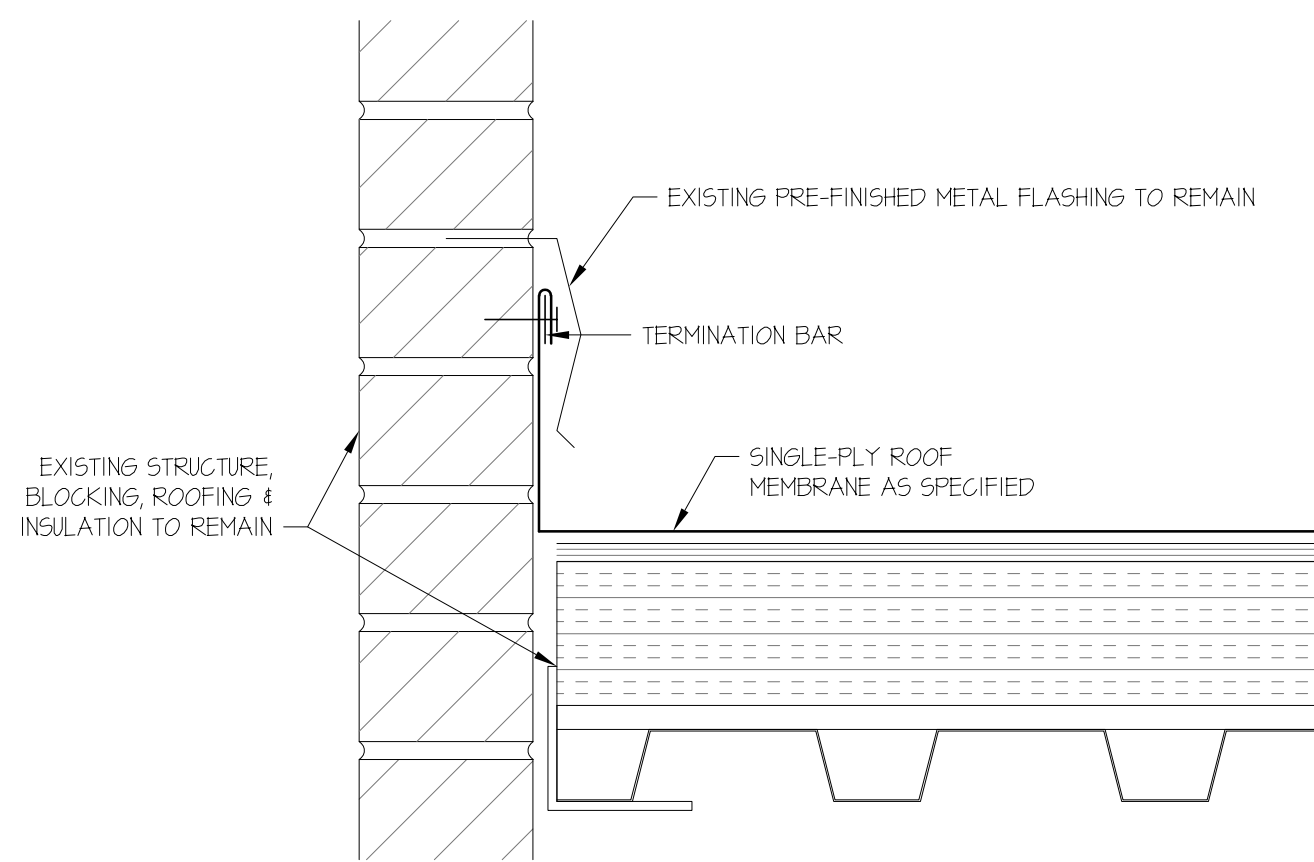
4 ROOF FLASHING DETAIL

3" = 1'-0" (ADMIN. BLDG.)



3 HIGH WALL FLASHING DETAIL

3" = 1'-0" (ADMIN. BLDG.)



5 ROOF FLASHING DETAIL

3" = 1'-0" (ADMIN. BLDG.)

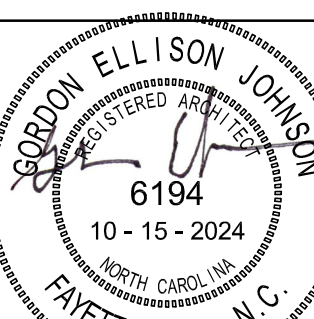
CODED NOTE SCHEDULE (ALL "EQUIPMENT" IS EXISTING TO REMAIN U.O.N.)

#	EQUIPMENT	SIZE	DETAIL	#	EQUIPMENT	SIZE	DETAIL	#	EQUIPMENT	SIZE	DETAIL
1	VENT	2" DIAMETER	1B/A2.0	41	VENT	2" DIAMETER	1B/A2.0	81	ROOF DRAIN		8B/A2.0
2	VENT	2" DIAMETER	1B/A2.0	42	VENT	2" DIAMETER	1B/A2.0	82	VENT	2" DIAMETER	1B/A2.0
3	POWER VENT	18" X 30"	2B/A2.0	43	ROOF DRAIN		8B/A2.0	83	POWER VENT	13" SQUARE	2B/A2.0
4	POWER VENT	18" X 30"	2B/A2.0	44	ROOF DRAIN		8B/A2.0	84	POWER VENT	13" SQUARE	2B/A2.0
5	ROOF HATCH	24" X 36"	6B/A2.0	45	OVERFLOW ROOF DRAIN		7B/A2.0	85	POWER VENT	20" SQUARE	2B/A2.0
6	POWER VENT	24" X 12"	2B/A2.0	46	VENT	2" DIAMETER	1B/A2.0	86	VENT	2" DIAMETER	1B/A2.0
7	FRESH AIR INTAKE	6" X 18"	2B/A2.0	47	POWER VENT	20" SQUARE	2B/A2.0	87	VENT	4" DIAMETER	1B/A2.0
8	ROOF DRAIN		8B/A2.0	48	POWER VENT	13" SQUARE	2B/A2.0	88	ROOF DRAIN		8B/A2.0
9	ROOF DRAIN		8B/A2.0	49	PITCH POCKET	8" SQUARE	3/A2.0	89	ROOF DRAIN		8B/A2.0
10	POWER VENT	18" X 30"	2B/A2.0	50	PITCH POCKET	8" SQUARE	3/A2.0	90	OVERFLOW ROOF DRAIN		7B/A2.0
11	VENT FLUE	12" DIAMETER	1B/A2.0	51	EQUIPMENT CURB	4" X 30"	5/A2.0	91	POWER VENT	18" SQUARE	2B/A2.0
12	VENT	2" DIAMETER	1B/A2.0	52	EQUIPMENT CURB	4" X 30"	5/A2.0	92	VENT	2" DIAMETER	1B/A2.0
13	POWER VENT	18" X 24"	2B/A2.0	53	EQUIPMENT CURB	4" X 30"	5/A2.0	93	FLUE VENT	6" DIAMETER	1B/A2.0
14	PITCH POCKET	4" SQUARE	3/A2.0	54	EQUIPMENT CURB	4" X 30"	5/A2.0	94	POWER VENT	18" X 20"	2B/A2.0
15	POWER VENT	18" X 30"	2B/A2.0	55	SKYLIGHT	42" DIAMETER	4B/A2.0	95	ROOF DRAIN		8B/A2.0
16	POWER VENT	18" X 30"	2B/A2.0	56	SKYLIGHT	42" DIAMETER	4B/A2.0	96	VENT	2" DIAMETER	1B/A2.0
17	PITCH POCKET	8" SQUARE	3/A2.0	57	ROOF DRAIN		8B/A2.0	97	VENT	8" DIAMETER	1B/A2.0
18	ROOF DRAIN		8B/A2.0	58	ROOF DRAIN		8B/A2.0	98	VENT	2" DIAMETER	1B/A2.0
19	ROOF DRAIN		8B/A2.0	59	OVERFLOW ROOF DRAIN		7B/A2.0	99	POWER VENT	18" X 24"	2B/A2.0
20	OVERFLOW ROOF DRAIN		7B/A2.0	60	ROOF DRAIN		8B/A2.0	100	VENT	2" DIAMETER	1B/A2.0
21	OVERFLOW ROOF DRAIN		7B/A2.0	61	ROOF DRAIN		8B/A2.0	101	FRESH AIR INTAKE	30" SQUARE	2B/A2.0
22	POWER VENT	13" SQUARE	2B/A2.0	62	OVERFLOW ROOF DRAIN		7B/A2.0	102	VENT	2" DIAMETER	1B/A2.0
23	VENT	4" DIAMETER	1B/A2.0	63	SPLASH PAD @ D.S.	12" X 36"		103	VENT	2" DIAMETER	1B/A2.0
24	VENT	2" DIAMETER	1B/A2.0	64	SPLASH PAD @ D.S.	12" X 36"		104	EXHAUST VENT	24" DIAMETER	1B/A2.0
25	PITCH POCKET	8" SQUARE	3/A2.0	65	ROOF DRAIN		8B/A2.0	105	EXHAUST VENT	24" DIAMETER	1B/A2.0
26	POWER VENT	13" SQUARE	2B/A2.0	66	ROOF DRAIN		8B/A2.0	106	VENT	2" DIAMETER	1B/A2.0
27	VENT	4" DIAMETER	1B/A2.0	67	ROOF DRAIN		8B/A2.0				
28	VENT	3" DIAMETER	1B/A2.0	68	SKYLIGHT	12" X 12"	4B/A2.0				
29	VENT	2" DIAMETER	1B/A2.0	69	SKYLIGHT	12" X 12"	4B/A2.0				
30	VENT	2" DIAMETER	1B/A2.0	70	SKYLIGHT	12" X 12"	4B/A2.0				
31	EQUIPMENT CURB	4" X 12"	5/A2.0	71	SKYLIGHT	12" X 12"	4B/A2.0				
32	EQUIPMENT CURB	4" X 12"	5/A2.0	72	SKYLIGHT	12" X 12"	4B/A2.0				
33	EQUIPMENT CURB	4" X 12"	5/A2.0	73	SKYLIGHT	12" X 12"	4B/A2.0				
34	EQUIPMENT CURB	4" X 12"	5/A2.0	74	ROOF DRAIN		8B/A2.0				
35	PITCH POCKET	8" SQUARE	3/A2.0	75	ROOF DRAIN		8B/A2.0				
36	POWER VENT	13" SQUARE	2B/A2.0	76	ROOF SCUPPER		6/A2.1				
37	VENT	2" DIAMETER	1B/A2.0	77	ROOF SCUPPER		6/A2.1				
38	POWER VENT	20" SQUARE	2B/A2.0	78	ROOF DRAIN		8B/A2.0				
39	VENT	2" DIAMETER	1B/A2.0	79	OVERFLOW ROOF DRAIN		7B/A2.0				
40	VENT	2" DIAMETER	1B/A2.0	80	VENT	2" DIAMETER	1B/A2.0				

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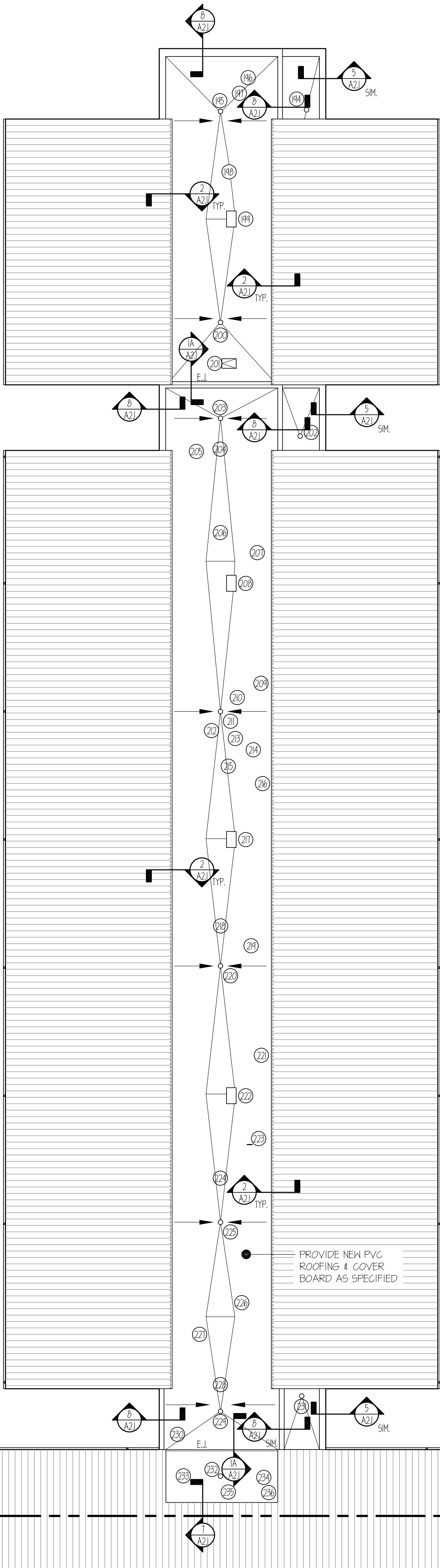
John R. Griffin Middle School Partial Roofing Overlay

5551 Fisher Road
Fayetteville, North Carolina 28304

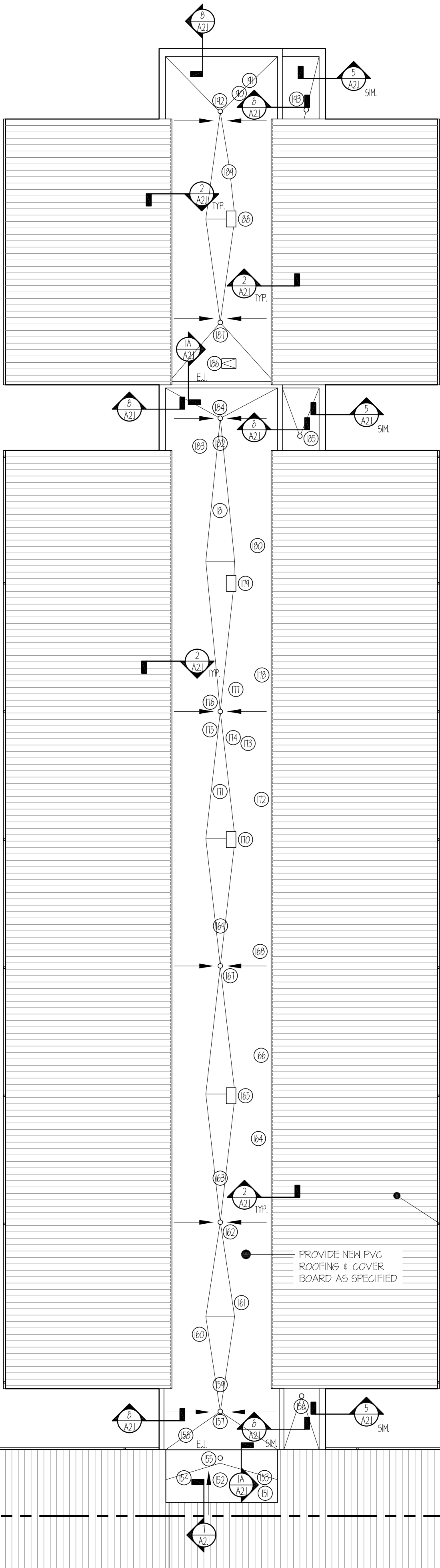
DRAWN BY: J.D. Pike
REVIEWED BY: G. Johnson
DATE: 10-15-24
PROJECT NO.: 2406
NOTES:

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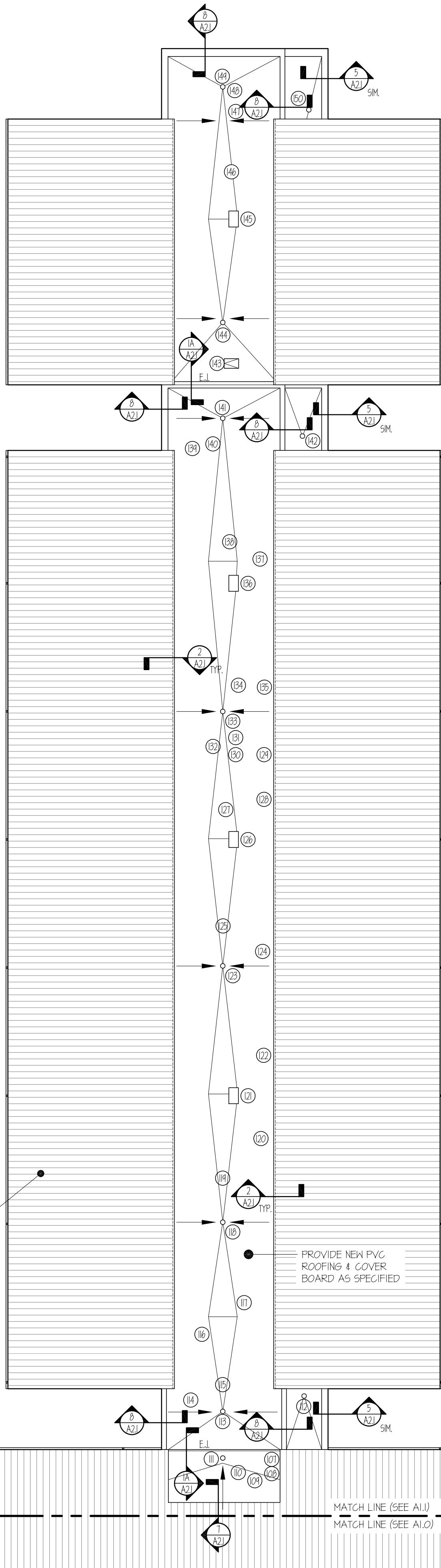
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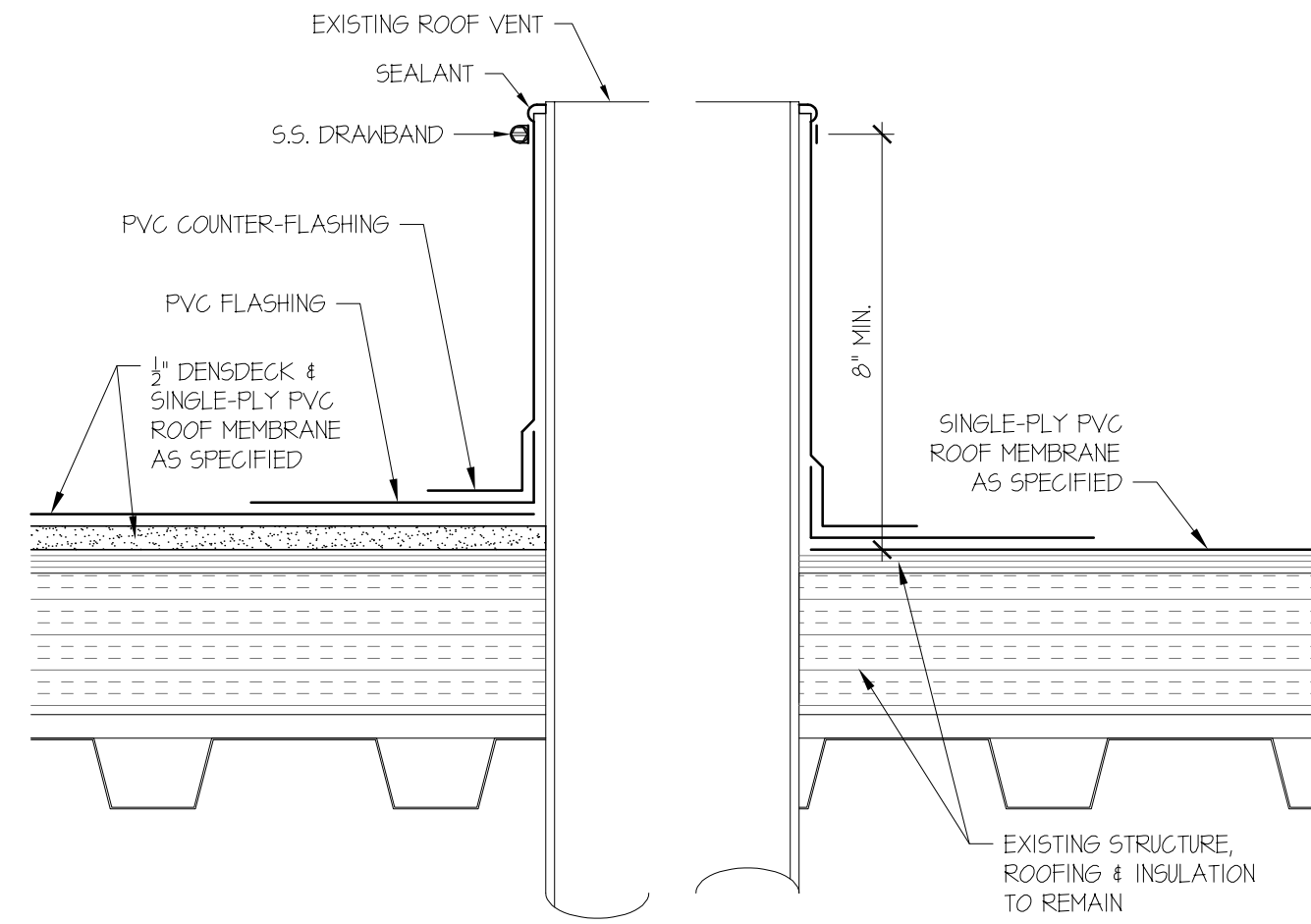


CODED NOTE SCHEDULE			
#	EQUIPMENT	SIZE	DETAIL
172	VENT	2" DIAMETER	1A/A2.0
173	VENT	2" DIAMETER	1A/A2.0
174	VENT	2" DIAMETER	1A/A2.0
175	POWER VENT	18" SQUARE	2A/A2.0
176	ROOF DRAIN		8A/A2.0
177	VENT	4" DIAMETER	1A/A2.0
178	VENT	2" DIAMETER	1A/A2.0
179	SKYLIGHT	24" X 48"	4A/A2.0
180	POWER VENT	18" SQUARE	2A/A2.0
181	VENT	2" DIAMETER	1A/A2.0
182	VENT	2" DIAMETER	1A/A2.0
183	OVERFLOW ROOF DRAIN		7A/A2.0
184	ROOF DRAIN		8A/A2.0
185	ROOF DRAIN		8A/A2.0
186	ROOF HATCH	24" X 36"	6A/A2.0
187	ROOF DRAIN		8A/A2.0
188	SKYLIGHT	24" X 48"	4A/A2.0
189	POWER VENT	18" SQUARE	2A/A2.0
190	VENT	2" DIAMETER	1A/A2.0
191	VENT	4" DIAMETER	1A/A2.0
192	ROOF DRAIN		8A/A2.0
193	ROOF DRAIN		8A/A2.0
194	ROOF DRAIN		8A/A2.0
195	ROOF DRAIN		8A/A2.0
196	VENT	4" DIAMETER	1A/A2.0
197	VENT	2" DIAMETER	1A/A2.0
198	POWER VENT	18" SQUARE	2A/A2.0
199	SKYLIGHT	24" X 48"	4A/A2.0
200	ROOF DRAIN		8A/A2.0
201	ROOF HATCH	24" X 36"	6A/A2.0
202	ROOF DRAIN		8A/A2.0
203	ROOF DRAIN		8A/A2.0
204	VENT	2" DIAMETER	1A/A2.0
205	OVERFLOW ROOF DRAIN		7A/A2.0
206	VENT	2" DIAMETER	1A/A2.0
207	POWER VENT	18" SQUARE	2A/A2.0
208	SKYLIGHT	24" X 48"	4A/A2.0
209	VENT	2" DIAMETER	1A/A2.0
210	VENT	4" DIAMETER	1A/A2.0
211	ROOF DRAIN		8A/A2.0
212	POWER VENT	18" SQUARE	2A/A2.0
213	VENT	2" DIAMETER	1A/A2.0
214	VENT	2" DIAMETER	1A/A2.0
215	VENT	4" DIAMETER	1A/A2.0
216	VENT	2" DIAMETER	1A/A2.0
217	SKYLIGHT	24" X 48"	4A/A2.0
218	VENT	2" DIAMETER	1A/A2.0
219	POWER VENT	18" SQUARE	2A/A2.0
220	ROOF DRAIN		8A/A2.0
221	VENT	2" DIAMETER	1A/A2.0
222	SKYLIGHT	24" X 48"	4A/A2.0
223	POWER VENT	18" SQUARE	2A/A2.0
224	VENT	2" DIAMETER	1A/A2.0
225	ROOF DRAIN		8A/A2.0
226	MECHANICAL UNIT	36" X 60"	2A/A2.0
227	MECHANICAL UNIT	36" X 60"	2A/A2.0
228	VENT	2" DIAMETER	1A/A2.0
229	ROOF DRAIN		8A/A2.0
230	OVERFLOW ROOF DRAIN		7A/A2.0
231	ROOF DRAIN		8A/A2.0
232	ROOF DRAIN		8A/A2.0
233	POWER VENT	18" SQUARE	2A/A2.0
234	POWER VENT	18" SQUARE	2A/A2.0
235	VENT	4" DIAMETER	1A/A2.0
236	VENT	2" DIAMETER	1A/A2.0

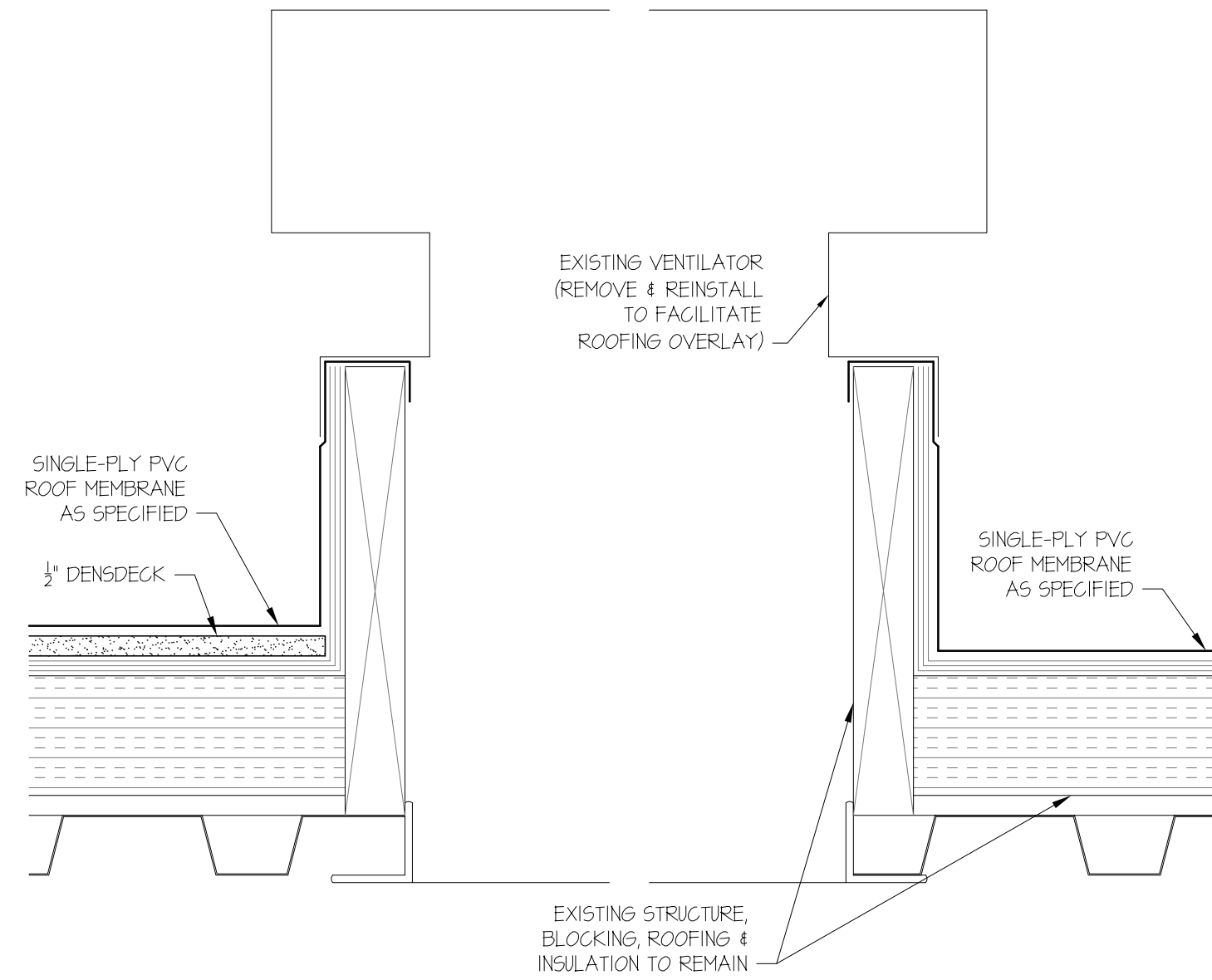


CODED NOTE SCHEDULE			
#	EQUIPMENT	SIZE	DETAIL
107	VENT	2" DIAMETER	1A/A2.0
108	VENT	4" DIAMETER	1A/A2.0
109	POWER VENT	16" X 20"	2A/A2.0
110	POWER VENT	13" SQUARE	2A/A2.0
111	ROOF DRAIN		8A/A2.0
112	ROOF DRAIN		8A/A2.0
113	ROOF DRAIN		8A/A2.0
114	OVERFLOW ROOF DRAIN		7A/A2.0
115	VENT	2" DIAMETER	1A/A2.0
116	MECHANICAL UNIT	36" X 60"	2A/A2.0
117	MECHANICAL UNIT	36" X 60"	2A/A2.0
118	ROOF DRAIN		8A/A2.0
119	VENT	2" DIAMETER	1A/A2.0
120	POWER VENT	18" SQUARE	2A/A2.0
121	SKYLIGHT	24" X 48"	4A/A2.0
122	VENT	2" DIAMETER	1A/A2.0
123	ROOF DRAIN		8A/A2.0
124	POWER VENT	18" SQUARE	2A/A2.0
125	VENT	2" DIAMETER	1A/A2.0
126	SKYLIGHT	24" X 48"	4A/A2.0
127	VENT	4" DIAMETER	1A/A2.0
128	VENT	2" DIAMETER	1A/A2.0
129	VENT	2" DIAMETER	1A/A2.0
130	VENT	2" DIAMETER	1A/A2.0
131	VENT	2" DIAMETER	1A/A2.0
132	POWER VENT	18" SQUARE	2A/A2.0
133	ROOF DRAIN		8A/A2.0
134	VENT	4" DIAMETER	1A/A2.0
135	VENT	2" DIAMETER	1A/A2.0
136	SKYLIGHT	24" X 48"	4A/A2.0
137	POWER VENT	18" SQUARE	2A/A2.0
138	VENT	2" DIAMETER	1A/A2.0
139	VENT	2" DIAMETER	1A/A2.0
140	OVERFLOW ROOF DRAIN		7A/A2.0
141	ROOF DRAIN		8A/A2.0
142	ROOF DRAIN		8A/A2.0
143	ROOF HATCH	24" X 36"	6A/A2.0
144	ROOF DRAIN		8A/A2.0
145	SKYLIGHT	24" X 48"	4A/A2.0
146	POWER VENT	18" SQUARE	2A/A2.0
147	VENT	2" DIAMETER	1A/A2.0
148	VENT	4" DIAMETER	1A/A2.0
149	ROOF DRAIN		8A/A2.0
150	ROOF DRAIN		8A/A2.0
151	VENT	2" DIAMETER	1A/A2.0
152	VENT	4" DIAMETER	1A/A2.0
153	POWER VENT	16" X 20"	2A/A2.0
154	POWER VENT	13" SQUARE	2A/A2.0
155	ROOF DRAIN		8A/A2.0
156	ROOF DRAIN		8A/A2.0
157	ROOF DRAIN		8A/A2.0
158	OVERFLOW ROOF DRAIN		7A/A2.0
159	VENT	2" DIAMETER	1A/A2.0
160	MECHANICAL UNIT	36" X 60"	2A/A2.0
161	MECHANICAL UNIT	36" X 60"	2A/A2.0
162	ROOF DRAIN		8A/A2.0
163	VENT	2" DIAMETER	1A/A2.0
164	POWER VENT	18" SQUARE	2A/A2.0
165	SKYLIGHT	24" X 48"	4A/A2.0
166	VENT	2" DIAMETER	1A/A2.0
167	ROOF DRAIN		8A/A2.0
168	POWER VENT	18" SQUARE	2A/A2.0
169	VENT	2" DIAMETER	1A/A2.0
170	SKYLIGHT	24" X 48"	4A/A2.0
171	VENT	4" DIAMETER	1A/A2.0

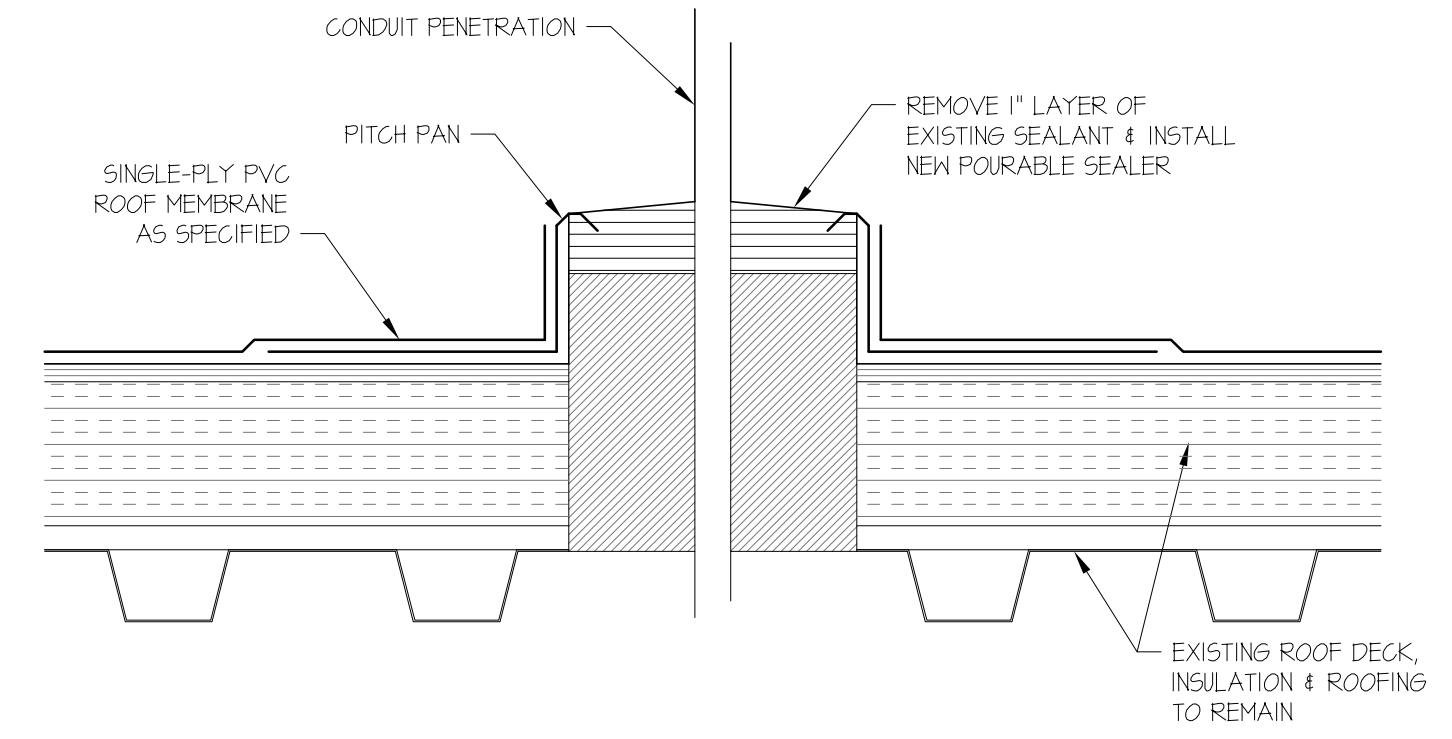




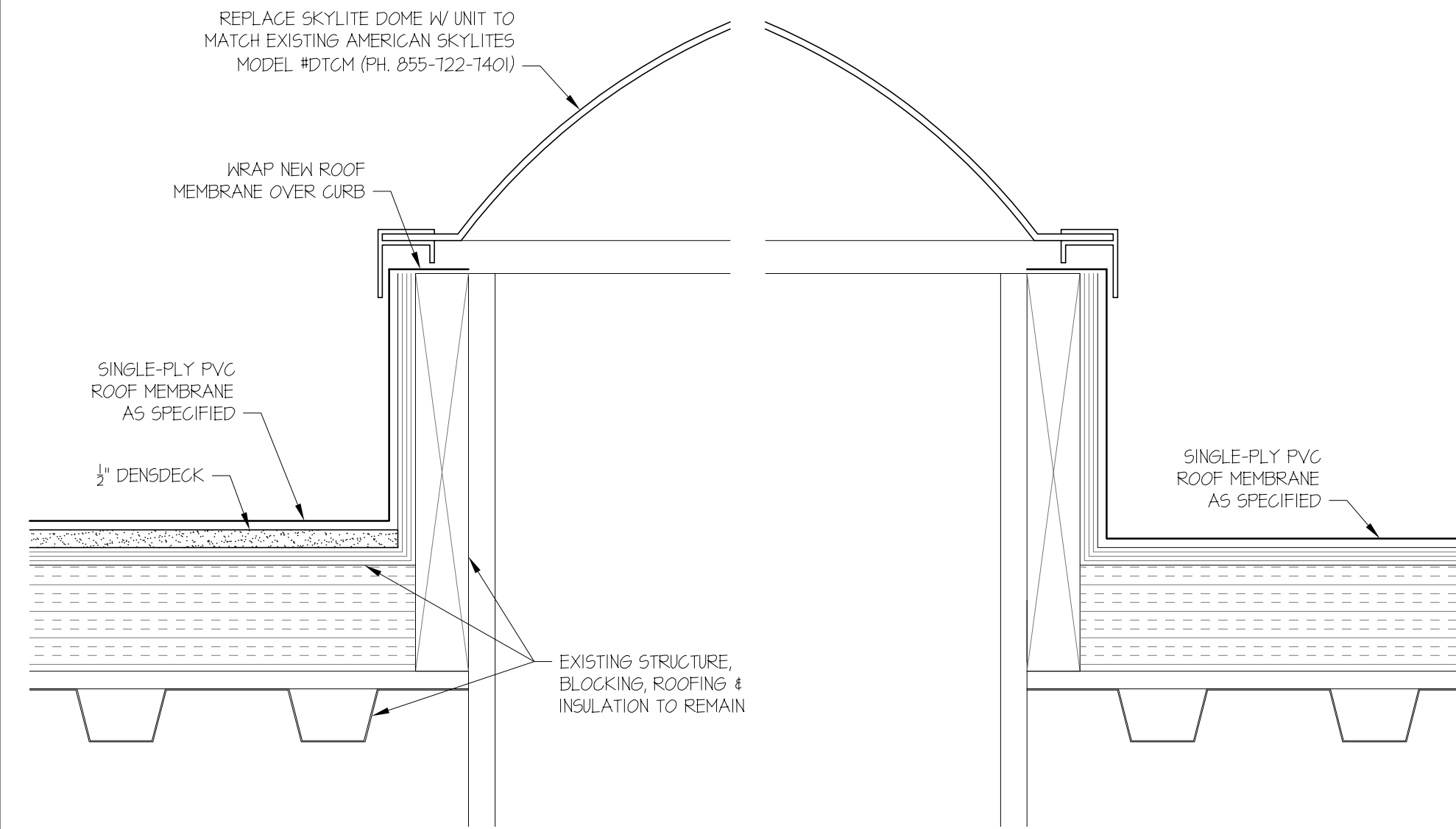
1A VENT DETAIL
3" = 1'-0" (CLASSROOM WING)



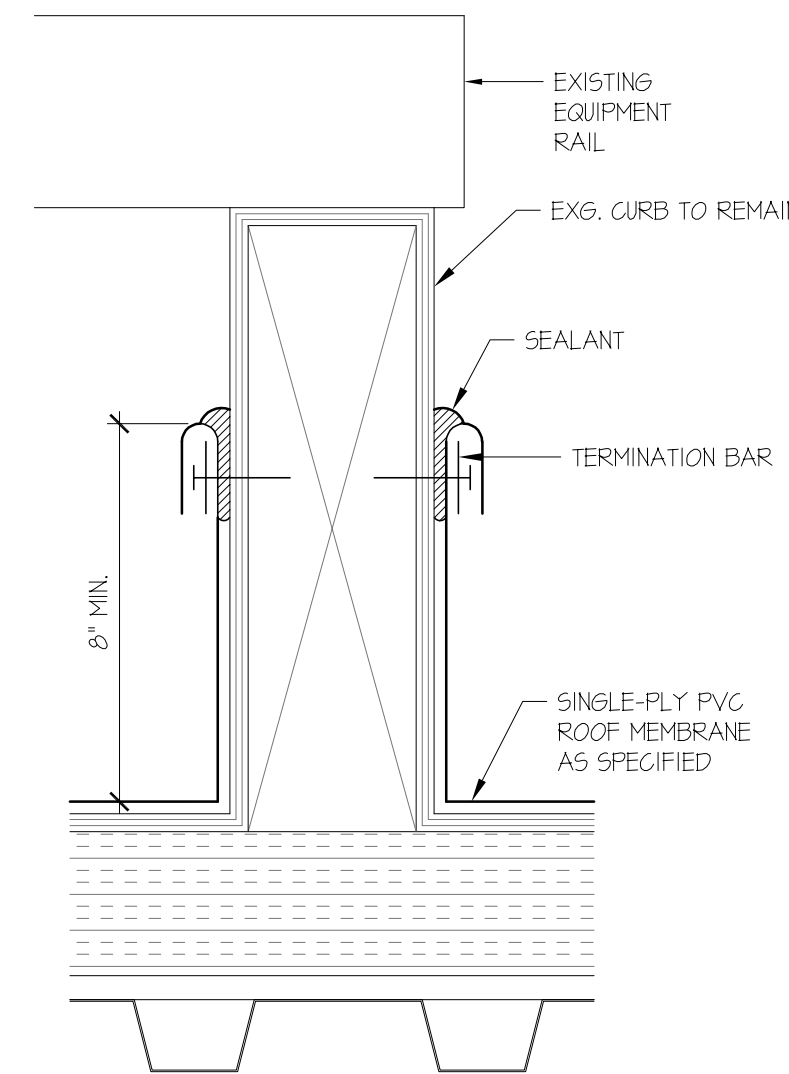
2A EQUIPMENT DETAIL
3" = 1'-0" (CLASSROOM WING)



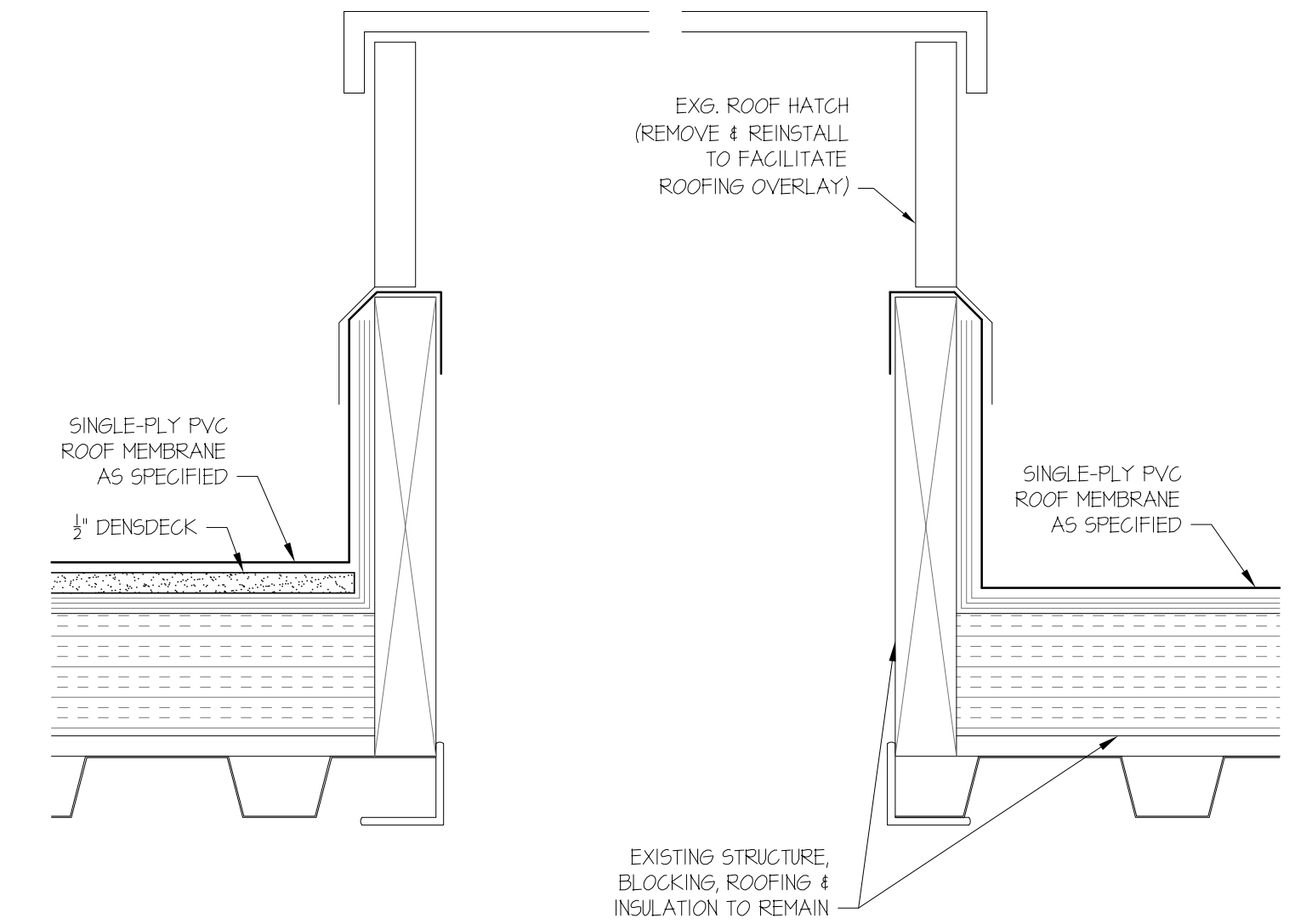
3 PITCH POCKET DETAIL
3" = 1'-0" (ADMIN. BLDG.)



4A SKY LIGHT DETAIL
3" = 1'-0" (ADMIN. BLDG.)

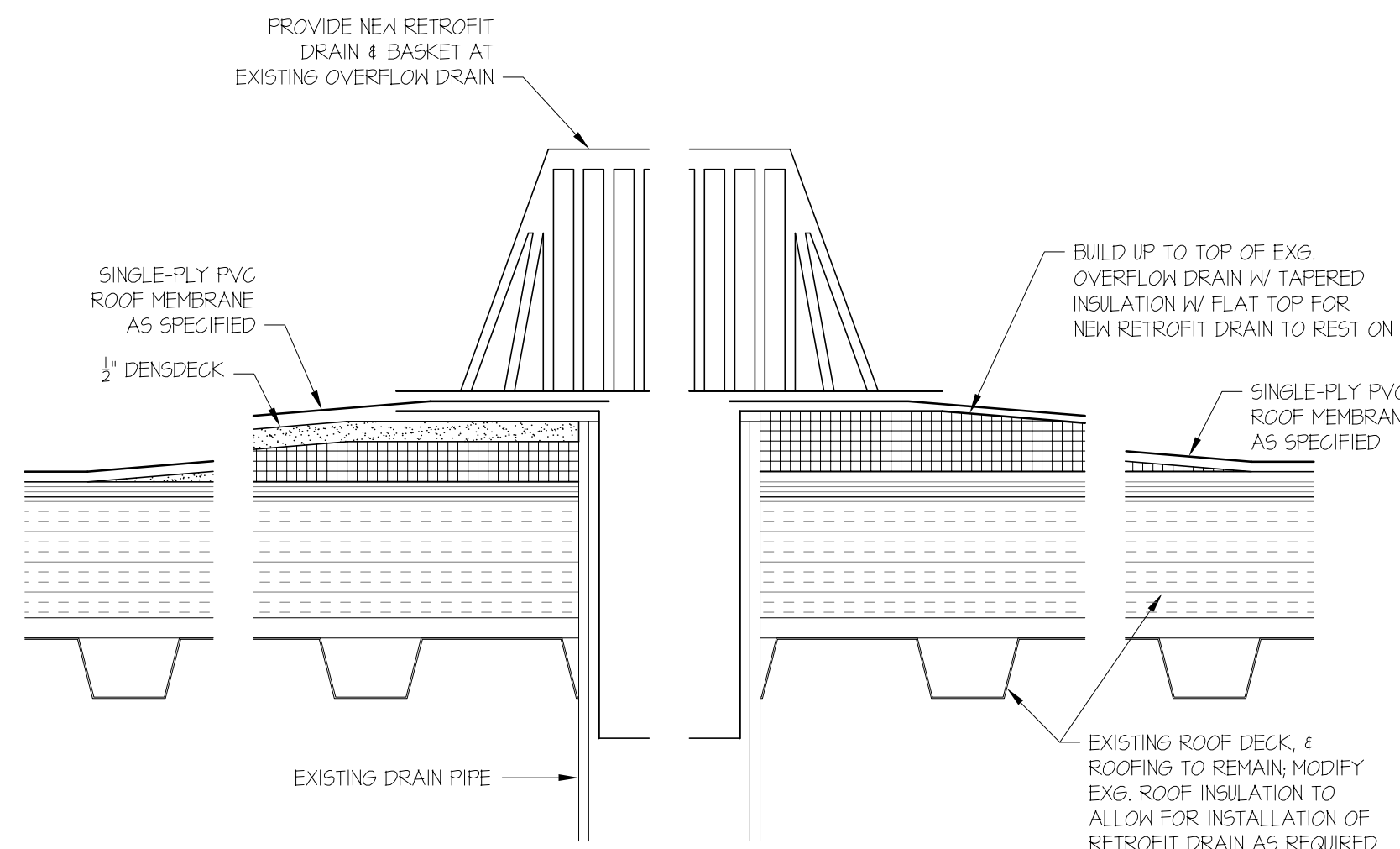


8 EQUIPEMENT RAIL SUPPORT
3" = 1'-0" (ADMIN. BLDG.)

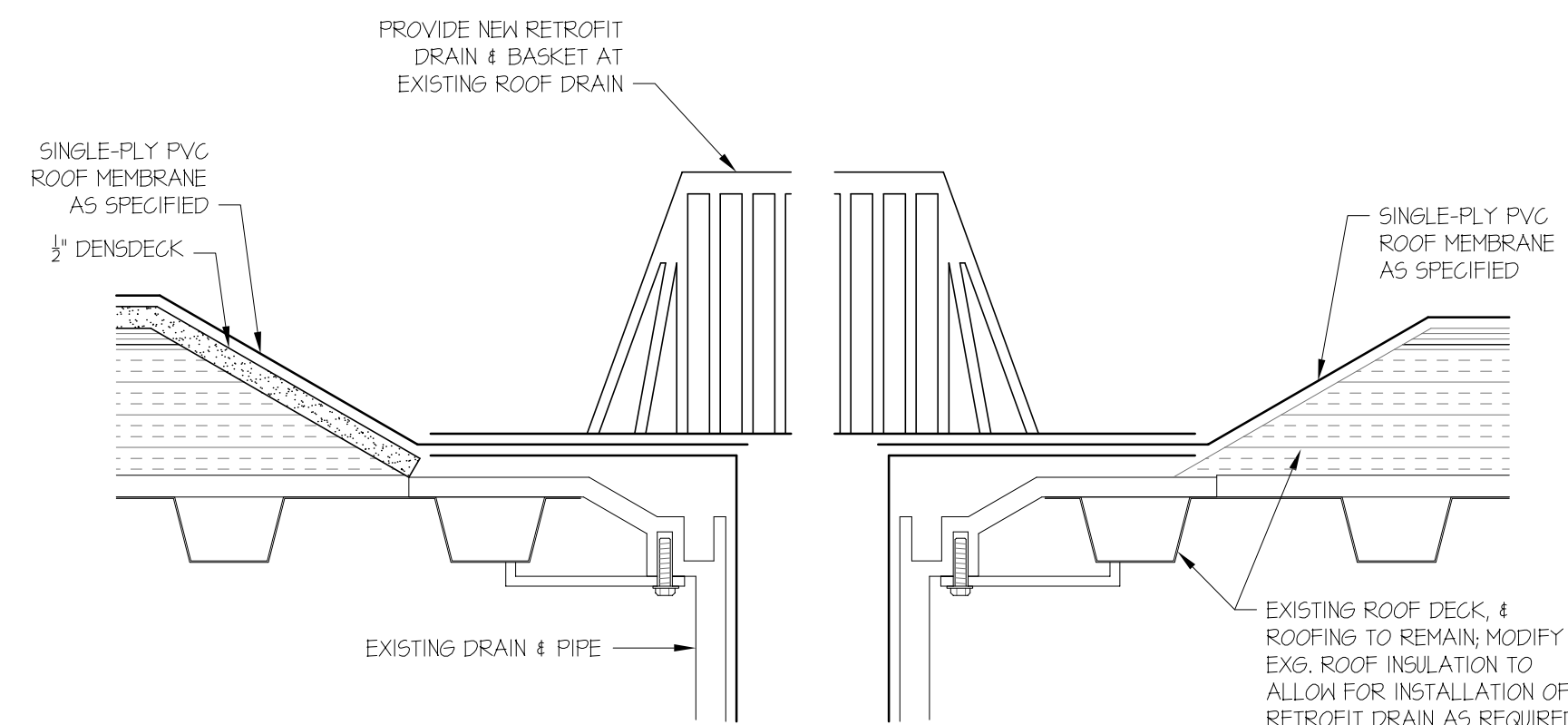


6A ROOF HATCH DETAIL
3" = 1'-0" (CLASSROOM WING)

6B ROOF HATCH DETAIL
3" = 1'-0" (ADMIN. BLDG.)

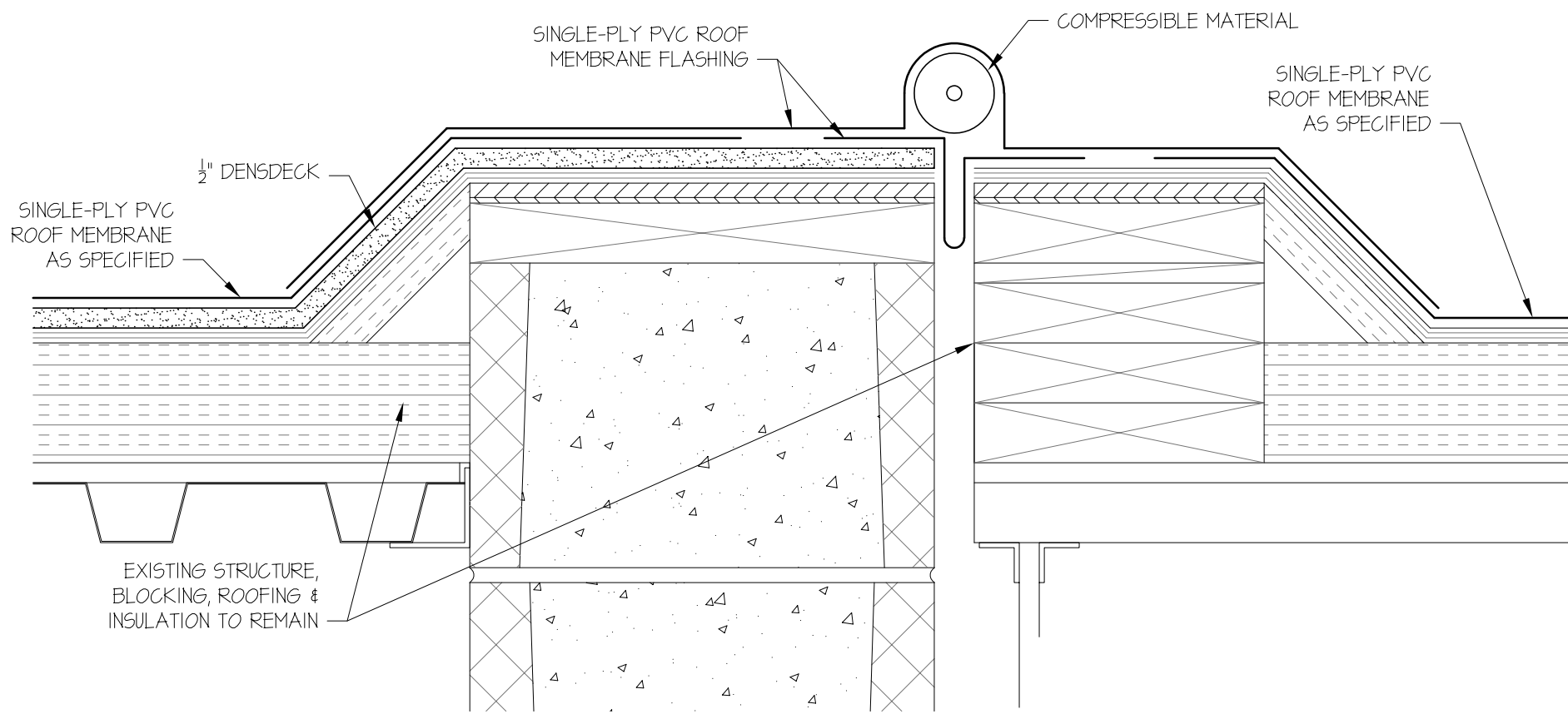


7A OVERFLOW DRAIN DETAIL
3" = 1'-0" (CLASSROOM WING)



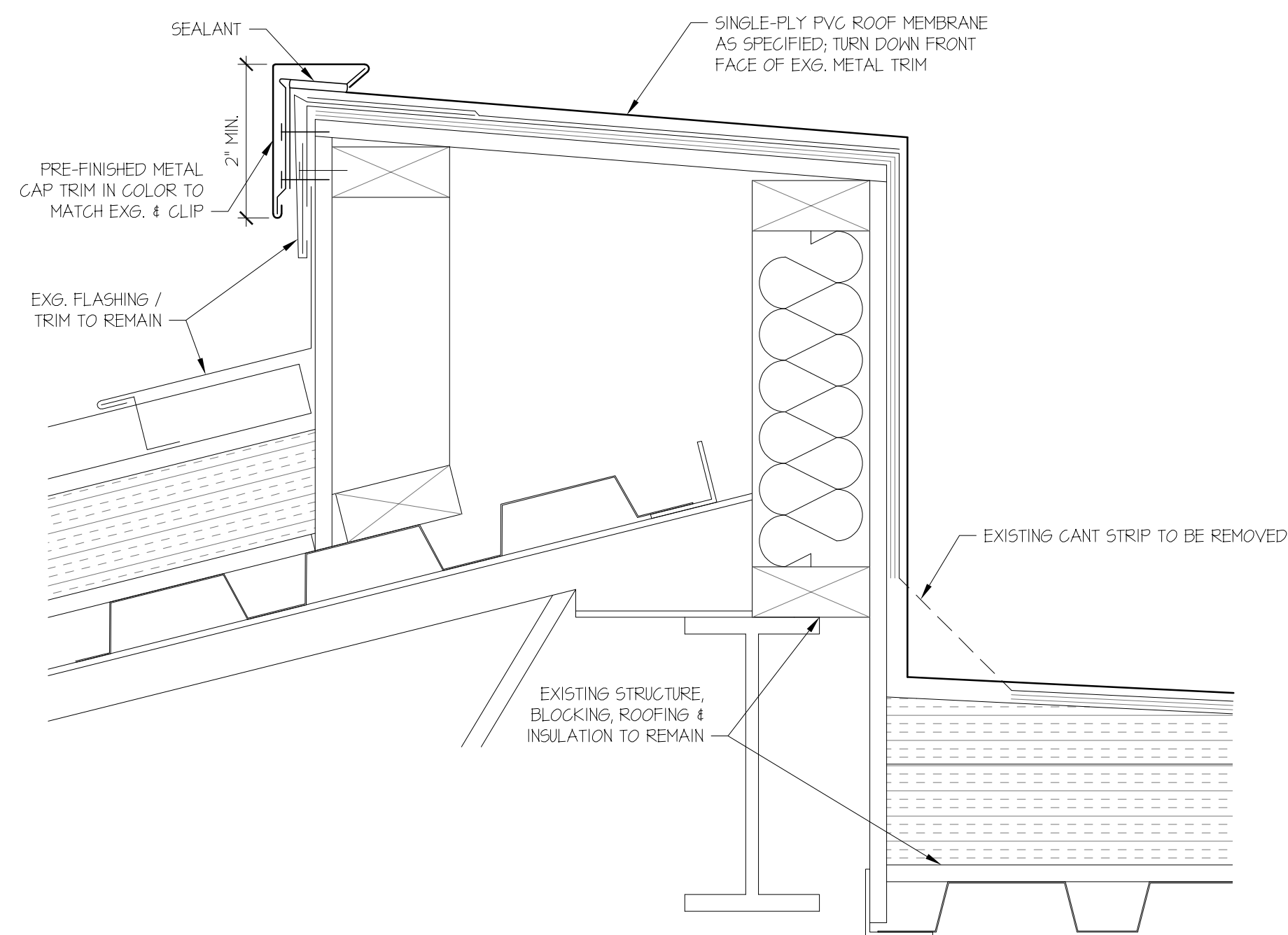
8A ROOF DRAIN DETAIL
3" = 1'-0" (CLASSROOM WING)

8B ROOF DRAIN DETAIL
3" = 1'-0" (ADMIN. BLDG.)

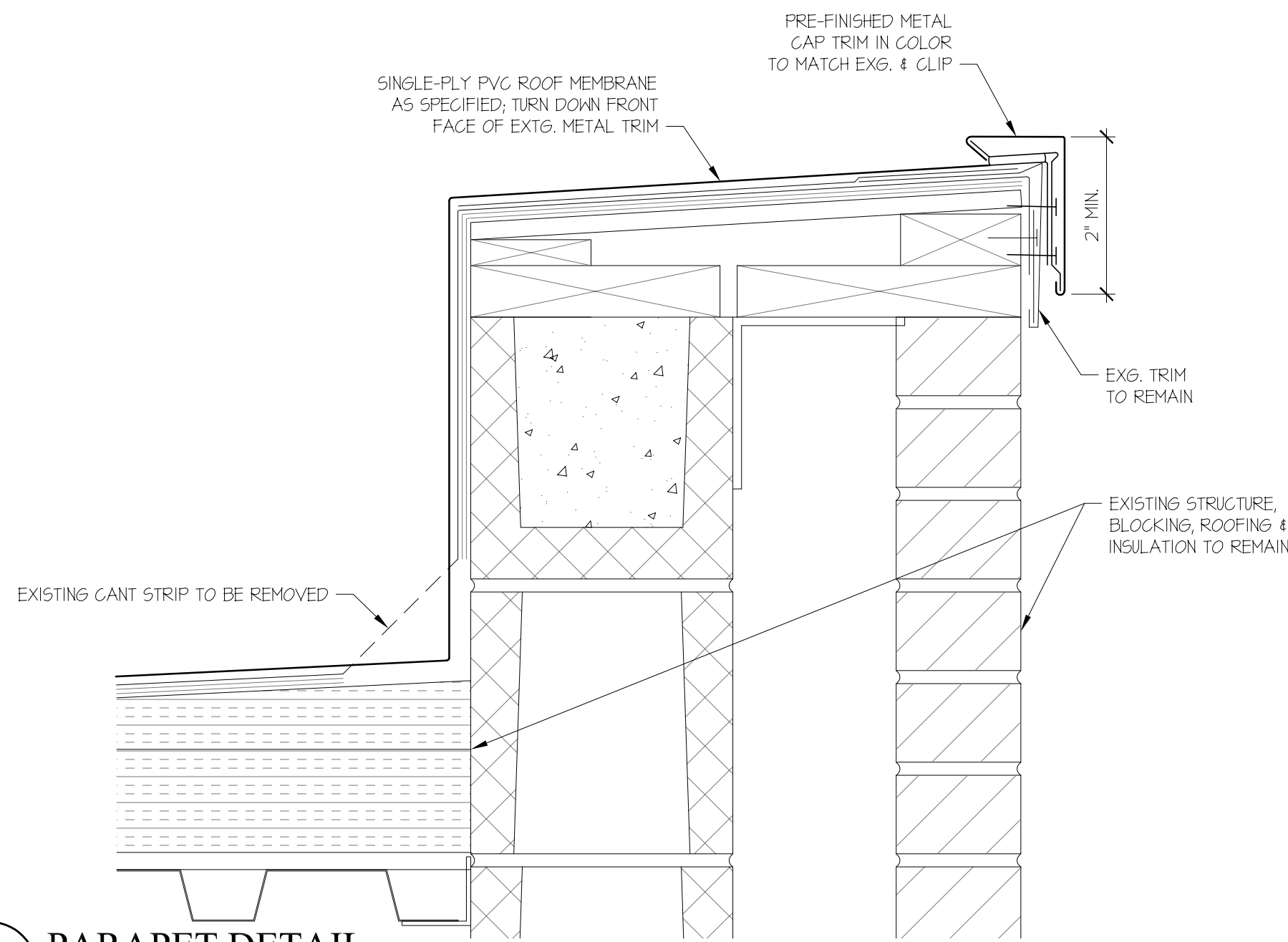


1A EXPANSION JOINT DETAIL
3" = 1'-0" (CLASSROOM WING)

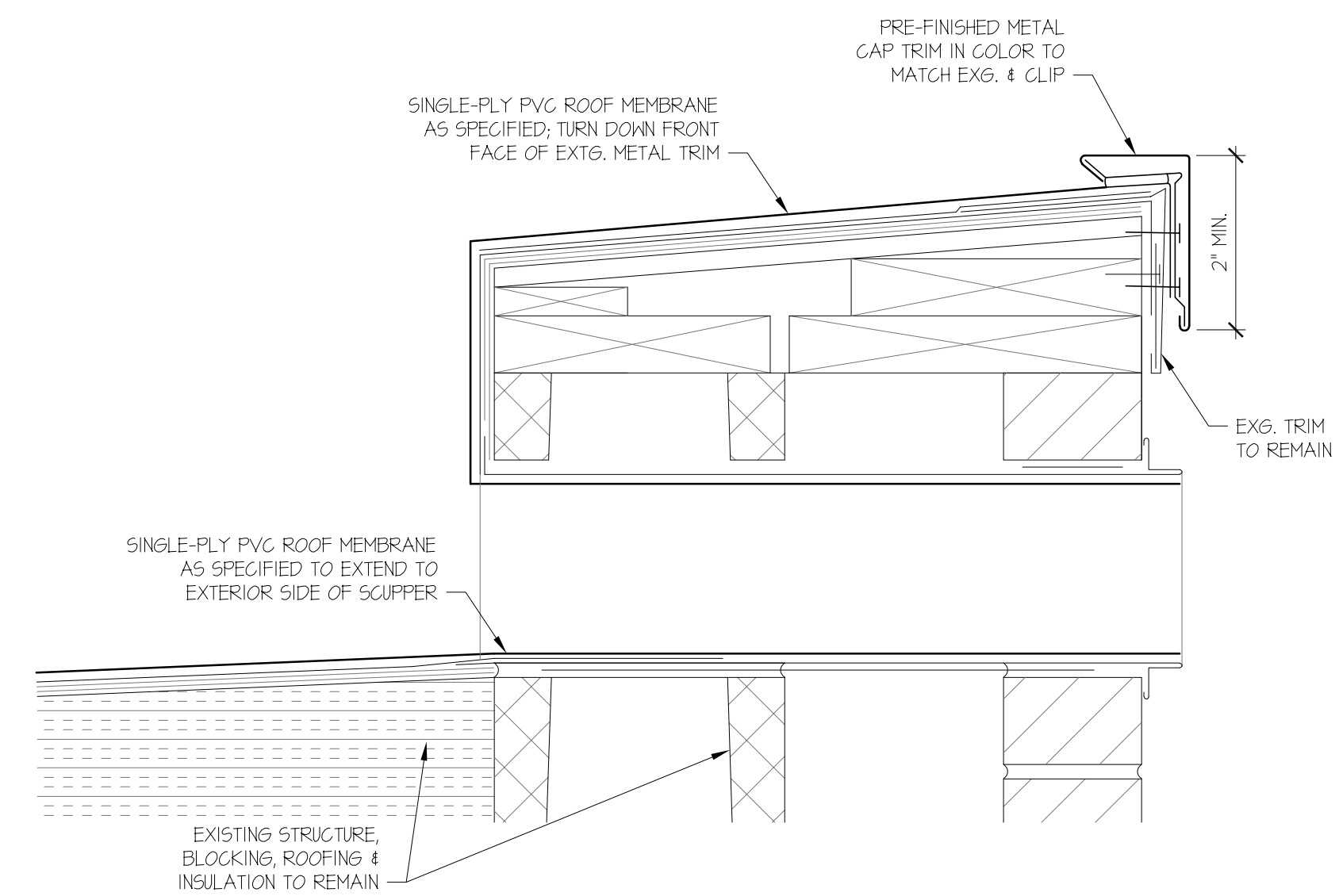
1B EXPANSION JOINT DETAIL
3" = 1'-0" (ADMIN. BLDG.)



2 WINDOW FLASHING DETAIL
3" = 1'-0" (CLASSROOM WING)



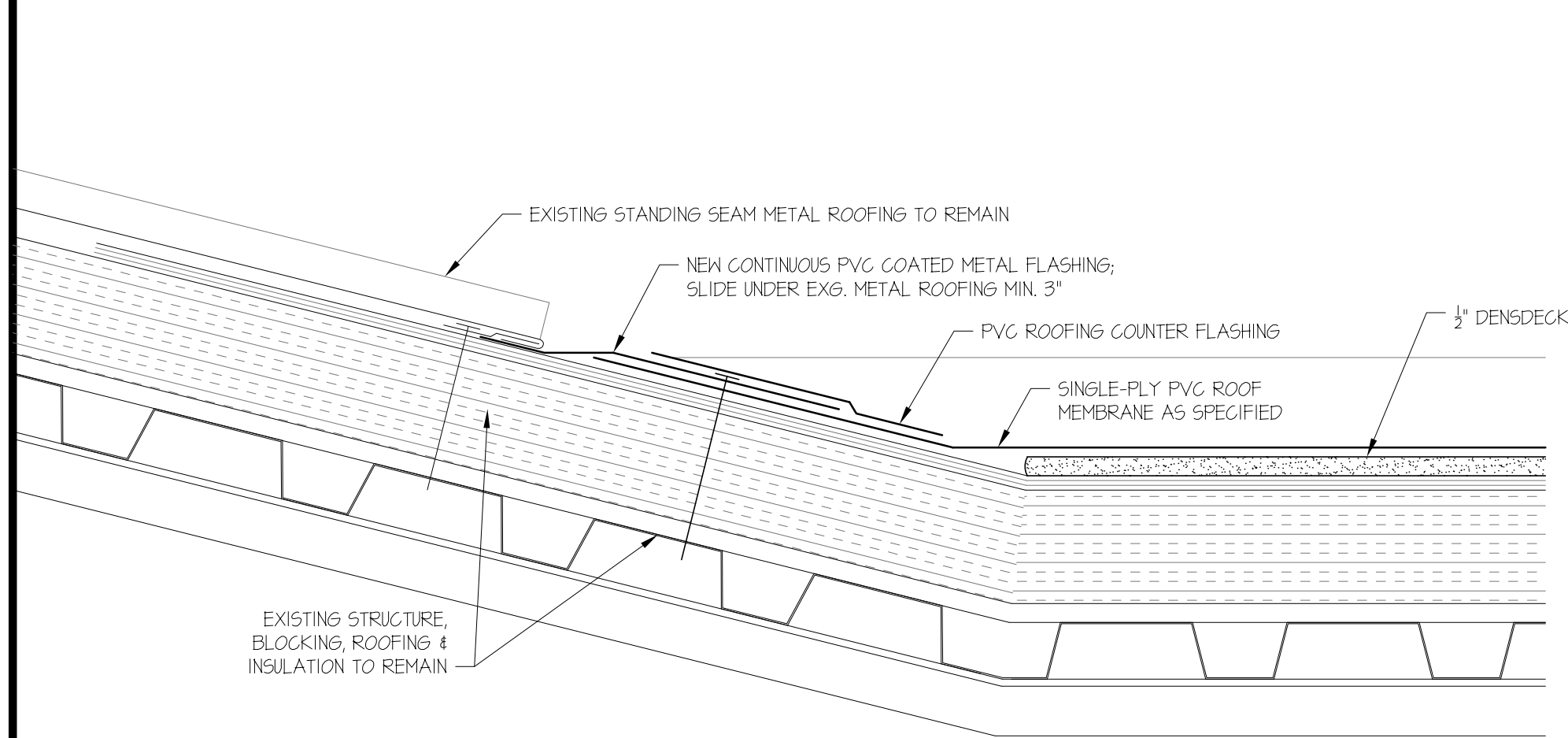
3 WINDOW FLASHING DETAIL
3" = 1'-0" (ADMIN. BLDG.)



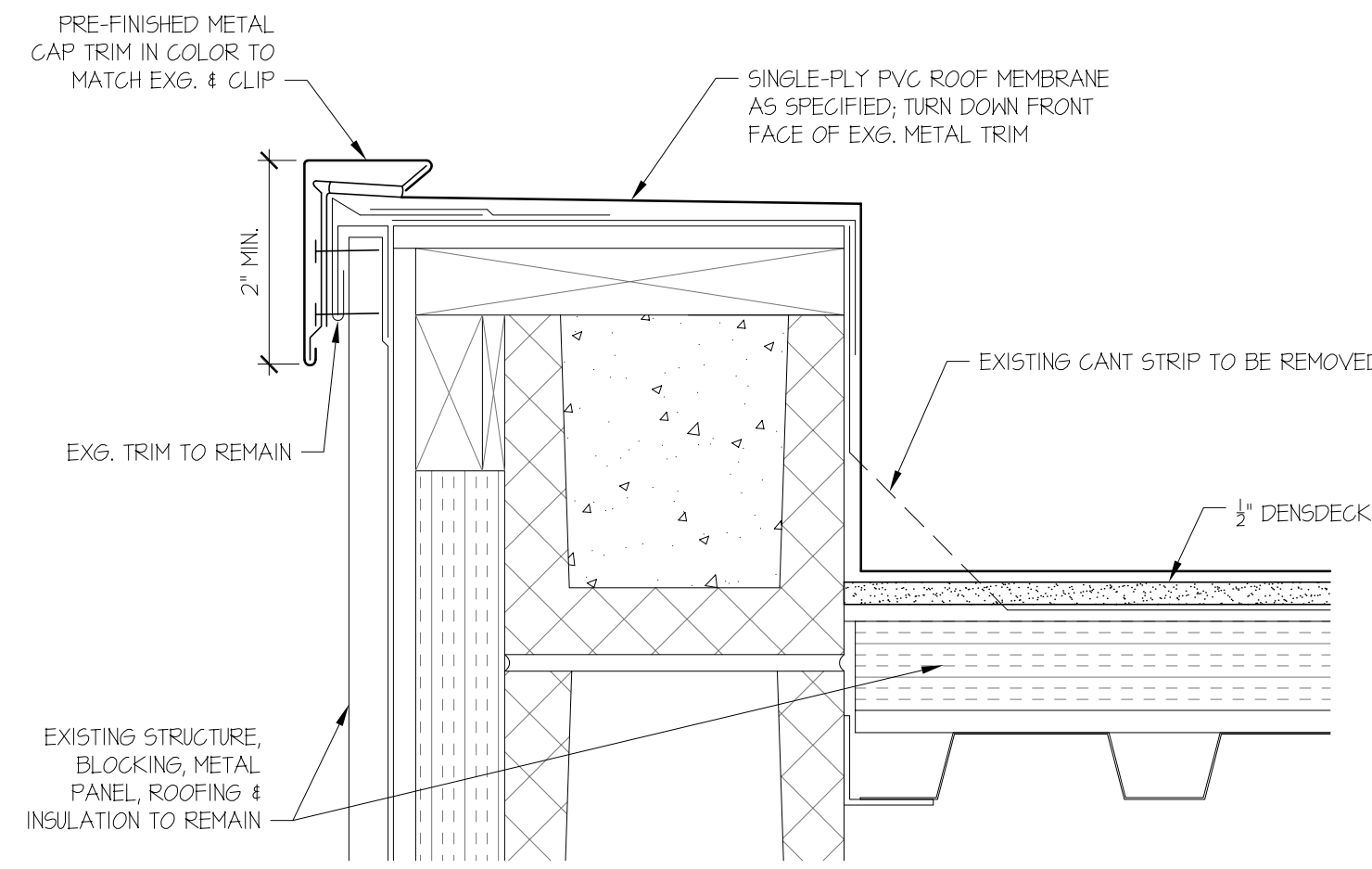
4 PARAPET DETAIL
3" = 1'-0" (ADMIN. BLDG.)

5 PARAPET DETAIL
3" = 1'-0" (ADMIN. BLDG.)

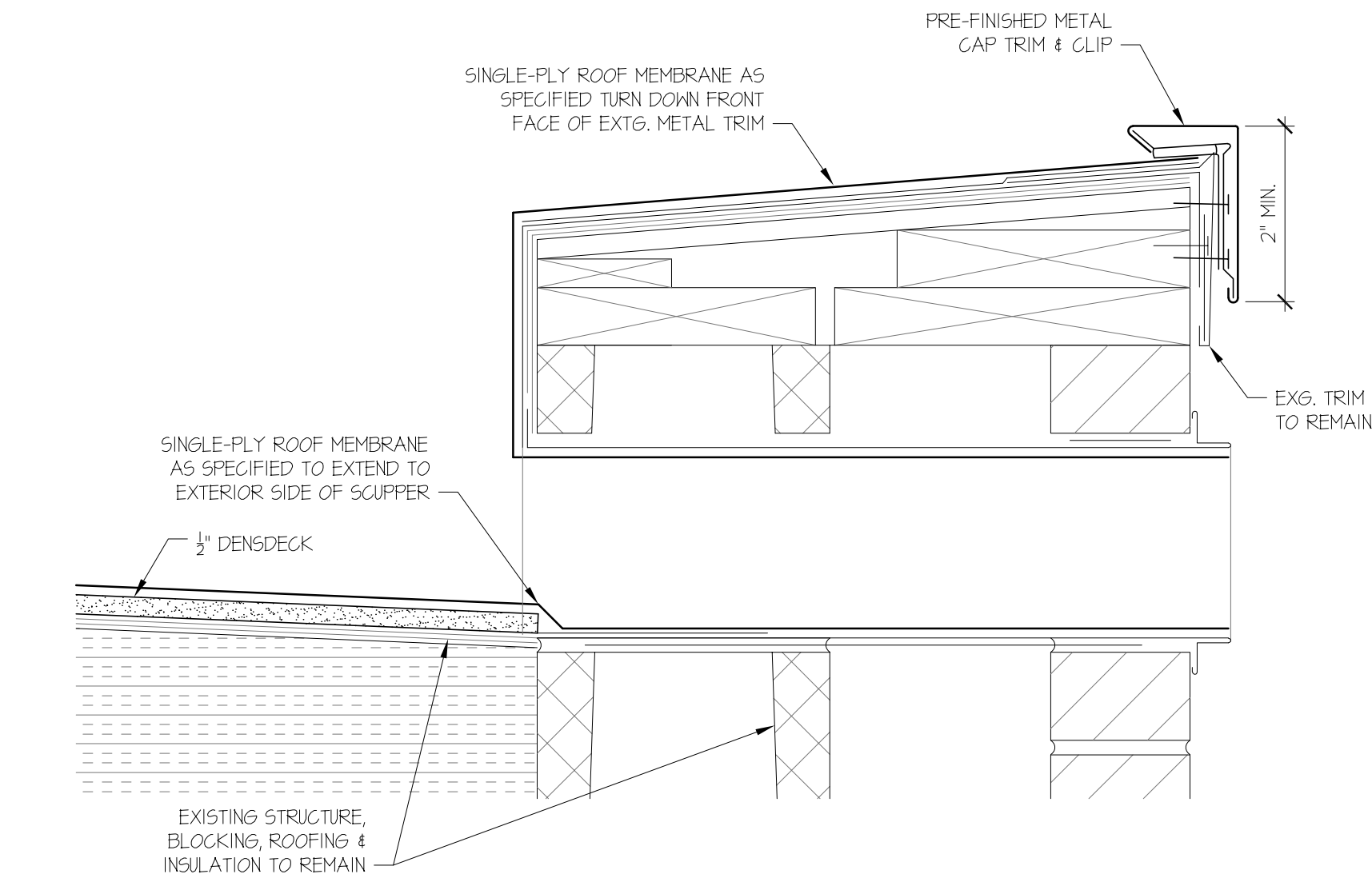
6 SCUPPER DETAIL
3" = 1'-0" (ADMIN. BLDG.)



7 ROOF TRANSITION
3" = 1'-0" (CLASSROOM WING)



8 PARAPET DETAIL
3" = 1'-0" (CLASSROOM WING)



9 SCUPPER DETAIL
3" = 1'-0" (ENERGY BLDG.)